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Certified WBE | DBE

Date: April 4, 2025

ADDENDUM NO. 1

Masonry Repairs & Insulation Upgrades at Hancock County Courthouse for Hancock County Government

Construction Documents dated March 25, 2025

NOTICE TO ALL PLAN HOLDERS OF RECORD:

All bidders are instructed to read and to note the following described changes, corrections, clarifications, omissions, deletions, approvals and statements pertinent to the Contract Bid and Construction Documents. The following addendum items modify, change, delete from or add to, the requirements of the contract documents for this project. The articles contained in the addendum take precedence over the requirements of the previously published contract documents. Where any article of the contract specifications or any detail of the contract drawings is modified, or any paragraph, subparagraph or clause thereof is modified or deleted by the articles contained in this addendum, the unaltered provisions of that article, paragraph, subparagraph or clause shall remain in effect. All Contractors shall acknowledge receipt of this Addendum in the space provided in the Bid Proposal Packet.

This Addendum No. 01 is issued in accordance with the provisions of "The General Conditions of the Contract for Construction", Article 1, "Construction Documents" and becomes a part of the Contract Documents as provided therein. This Addendum includes:

Item No. 1 – Clarifications and General Information:

- A. Pre-Bid sign-in sheet is attached to this addendum
- B. The Pre-Bid meeting agenda is attached to this addendum.
- C. **Bids** should be delivered to the Annex Building **prior to 4:00 pm April 14, 2025** to ensure that they are in before the 8 am April 15, 2025 Deadline.

Item No. 2 – Specifications

- A. No Items at this time.

Item No. 3 – Drawings

- A. Sheets A101, A103, A104, A105, A106: Attic Floor Plan and Courthouse Elevations.
REPLACE with the attached sheets for clarification of scope.

Item No. 4 – Questions

- A. Question: There are items stored against the walls that are to be insulated in the attic. Are we to move those items out of the way?

Answer: Yes. The contractor will need to move these items.

- B. Question: What is the scaffolding plan for the project?

Answer: Contractor will be responsible for all means, methods, logistics and access methods.

End of Addendum No. 1



RE: Pre-Bid Conference

Meeting Date: April 2, 2025

Project: Masonry Repairs & Insulation Upgrades at Hancock Co. Courthouse

INTRODUCTIONS

Owner: **Hancock County Government**
Bill Spalding, President – Board of Commissioners
Cory Taylor – Facility Manager

Engineer/Project Manager: **Sean Mettert, PE, Sr. Project Manager, The Etica Group, Inc.**

BID DUE DATE

1. Bids will be due at **8:00 a.m.** local time on **Tuesday, April 15, 2025** at the **Hancock County Annex, 111 S American Legion Place, Suite 217, Greenfield, IN 46140.**
The office does not open until 8:00 am. To ensure bids are received prior to deadline, Please deliver prior to 4:00 p.m. Monday, April 14, 2025.
2. The bids will be **publicly** opened and taken under advisement for review and recommendation by the **Owner and Engineer.**

DESCRIPTON OF PROJECT

The overall project consists of 1 project to be bid by a single prime contractor.

The Scope of Work is for the tuckpointing of existing identified mortar joints, re-caulking of existing vertical and horizontal control joints, cleaning of all limestone elevations, installation of insulation products in the attic and crawlspace areas, and waterproofing repairs in the utility tunnel at **Hancock County Courthouse.**

INSTRUCTION TO BIDDERS

1. Take note of the public bidding requirements in the Instructions to Bidders and in the Supplementary Conditions to the General Conditions.
2. It is asked that all questions and /or requests be addressed directly to **The Etica Group** in writing, by e-mail (smettert@eticagroup.com). The answers, qualifications, or information noted during this meeting or during phone conversations that differ from the bidding documents are not to be considered official unless noted in an Addendum.

3. A Bid Security of **5%** or a certified check made out to **Hancock County Government** for **5%** of the bid amount is required with the bid.
4. Items bidders must consider when preparing their bid.
 - a. The cost of Performance and Payment Bonds of **100%** of the contract amount are to be **included in** the contractor's bid as required.
 - b. The successful bidder must provide a Certificate of Insurance with Hancock County Gov. listed as the additional insured.
 - c. The County's tax-exempt number **will be provided to the successful bidder.**
5. For consideration, a Bid Form must be submitted in duplicate, sealed in an envelope, and delivered to **the Annex building by the designated time. The clock in the board room will be used as the "official" clock for determining when receipt of bids will be closed.**
6. Bids must be submitted on the State Board of Accounts Form 96-Revised and Supplementary Bid Form provided in the project manual.
7. Bids shall be guaranteed for **60** days.
8. Take note that, in the event of any inconsistency between the drawings and specifications or within either document that is not clarified by addendum, the better quality or greater quantity shall be provided.

CONTRACT INFORMATION

1. The Owner/Contractor Agreement will be **AIA document A101 2017 Edition.**

PROJECT SCHEDULE:

1. **Tuesday, April 15, 2025** – Receipt of Bids
2. **Tuesday, April 29, 2025** – Recommendation to Commissioners
3. **Wednesday, April 30, 2025** – Notice to Proceed
4. Contractor will be able to begin preparation of submittals and project planning **immediately** upon receiving the "Notice to Proceed". A pre-construction meeting will be required with the Owner and Engineer before construction work can begin.
5. All work may begin following the execution of the Owner/Contractor Contract, following the preconstruction meeting, and approval of all contractor product submittals and shop drawings.
6. **Substantial Completion – August 31, 2025**

SPECIAL NOTES

1. **Contractors wishing to make follow-up visits to the building sites must contact Cory Taylor at (463.266.9192) to set up a time. Do not attempt to visit the site or building without prior arrangements.**
2. **All addendum questions are to be submitted by end of business on Wednesday, April 9, 2025. An addendum will be issued Thursday, April 10, 2025.**

Current Items to be listed:

- No items have currently been identified.

SUPPLEMENTARY GENERAL CONDITIONS:

1. Financial irresponsibility or past record of failure to perform any work as determined by the Owner shall be a valid reason for the Owner's objection to any proposed subcontractor by the Successful Contractor.
2. The successful Contractor will be required to establish an escrow account at a banking institution approved by the Owner, however, if the Owner agrees, the Contractor may elect to have the Owner hold retainage. The Owner however, will not be required to, nor will they pay interest on the retainage it holds.

SUMMARY GENERAL

1. Owner will maintain access and occupy all sites during construction. Contractor is to coordinate/communicate any/all possible disruptions to the Owner's operations.
2. Contractor is responsible for site safety of the general public at all building egress locations. Overhead protection shall be provided by the contractor.

CONTINGENCY ALLOWANCE –

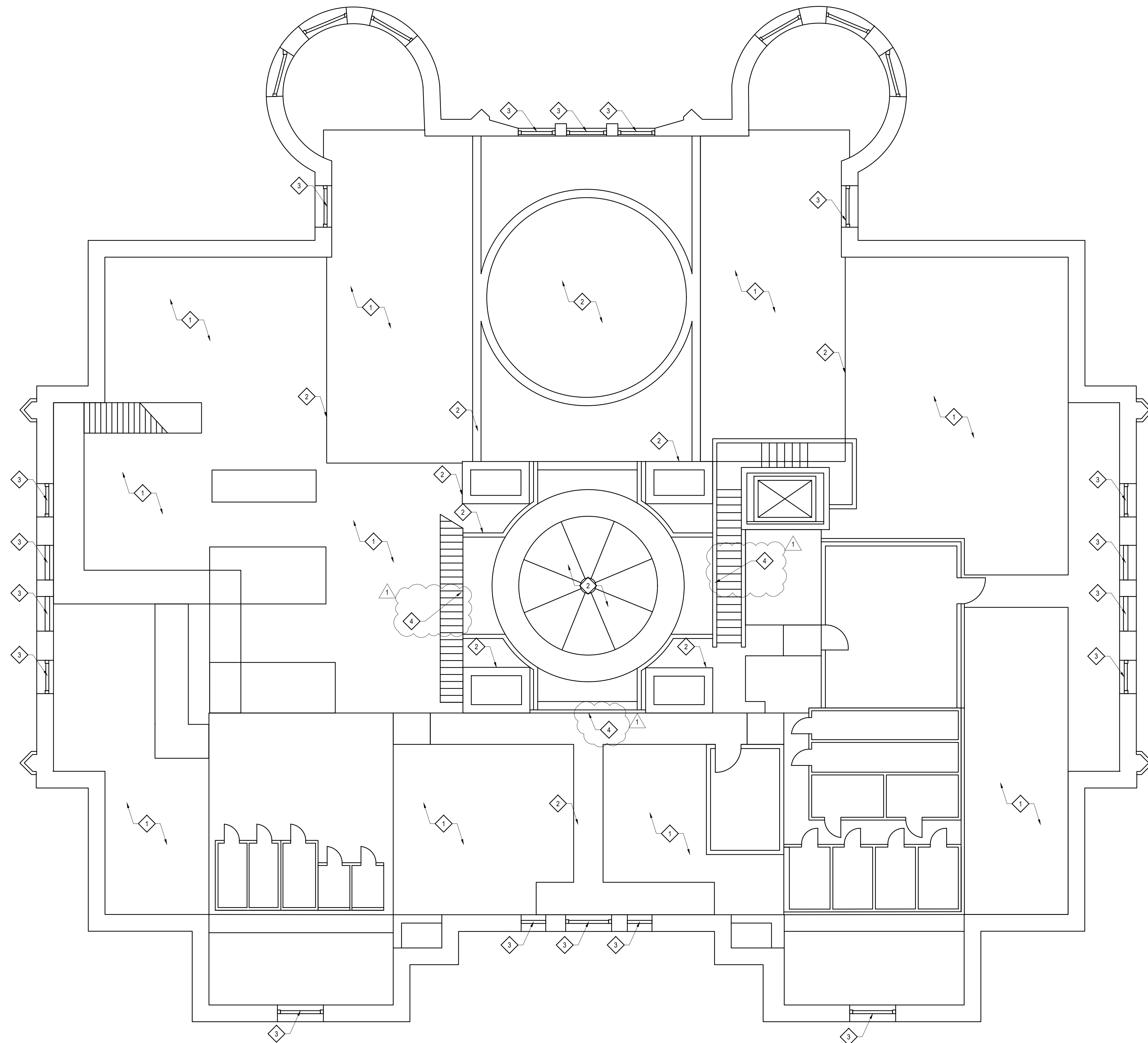
1. A contingency Allowance of \$15,000 is to be included in the Base Bid for the project.

Sign In Sheet

Project Name: Masonry Repairs & Insulation Upgrades at Hancock County Courthouse
Owner: Hancock County Government
Project No.: 240182
Meeting: Pre-Bid Meeting
Meeting Date: 4/2/2025



Name	Company/Association	Phone/Cell	E-mail
Sean Mettert	Etica Group, inc	260-908-5468	smettert@eticagroup.com
Cory Taylor	Hancock County	463-266-9192	Cory.Taylor@hancockin.gov
Will Miller	Hagerman Cons	317-388-5432	wmiller@hagermaninc.com
Brian Gottschalk	Trigg/Atlas Building Services	260-414-9630	briangottschalk@atlasbuilding.com
Jacob Paulus	BCR	517-525-2620	JPAULUS@BCRMCO.COM
Rob Chapman	MMI	937 7739236 / 937418-7471	rchapman@mmirestoration.com
Jack Blackley	Blackleys	317-558-1107	jackblackley@blackleys.com
SEAN MCCLEMON	HAGERMAN CONS	317-349-8553	SMCCLEMON@HAGERMANCONS.COM
Rick Wells	Wells Masonry Rest.	317-697-2546	rick.wells@wellsmasonry.com
Mike Jesse	Browning Chapman	317-407-5042	m.jesse@BrowningChapman
Jason McKay	BRAMWELL McKay	317-864-1533	Jason@BramwellMcKay.com



- ATTIC PLAN SCOPE OF WORK:**
- BASE WORK**
ATTIC FLOOR REPAIRS:
- 1 PROVIDE NEW BLOWN IN CELLULOSE INSULATION WITH R-VALUE = 3.5/INCH AT VARIOUS LOCATIONS THROUGHOUT THE ATTIC WHERE EXISTING INSULATION IS BELOW TOP OF FLOOR JOISTS. INSTALL NEW INSULATION TO COVER JOISTS. THE INSULATION SHOULD HAVE A TOTAL MINIMUM DEPTH OF 8.5" FOR AN R-VALUE OF R-30. CONTRACTOR TO INCLUDE AN AREA OF 7,500 SQUARE FEET AT AN AVERAGE DEPTH OF 3" ADDITIONAL INSULATION IN BASE BID.
 - 2 PROVIDE NEW SPRAYED CLOSED-CELL POLYURETHANE WITH R-VALUE = 6.5/INCH AROUND GLASS DOMES, CONCRETE BLOCK WALLS, AND CONCRETE BLOCK STRUCTURAL COLUMNS. THE INSULATION SHOULD HAVE A TOTAL DEPTH OF 4.5" FOR AN R-VALUE OF R-30. CONTRACTOR TO INCLUDE AN AREA OF 6,000 SQUARE FEET AT 4.5" AVERAGE THICKNESS.
 - 3 NO WORK AT EXISTING STAINED GLASS WINDOWS. STAINED GLASS WINDOWS ARE MARKED WITH HISTORIC SIGNATURES THAT ARE TO REMAIN UNDISTURBED.
 - 4 EXISTING HALF CIRCLE STAINED GLASS WINDOWS TO REMAIN. PROTECT FRAMES AND TRIM FROM DAMAGE. SIGNATURES ON TRIM ARE TO BE PROTECTED AND LEFT UNCOVERED. PROVIDE ADHERED 2" RIGID EXTRUDED POLYSTYRENE INSULATION OVER STAINED GLASS AREA ONLY. INCLUDE 200 SQUARE FEET OF 2" RIGID INSULATION IN BID.

ATTIC FLOOR PLAN
 HANCOCK COUNTY COURTHOUSE
 SCALE: 1/8"=1'-0"

HANCOCK COUNTY COURTHOUSE
 9 E MAIN STREET
 GREENFIELD, IN 46140

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HANCOCK COUNTY - IN
 MASONRY REPAIRS AND INSULATION UPGRADES
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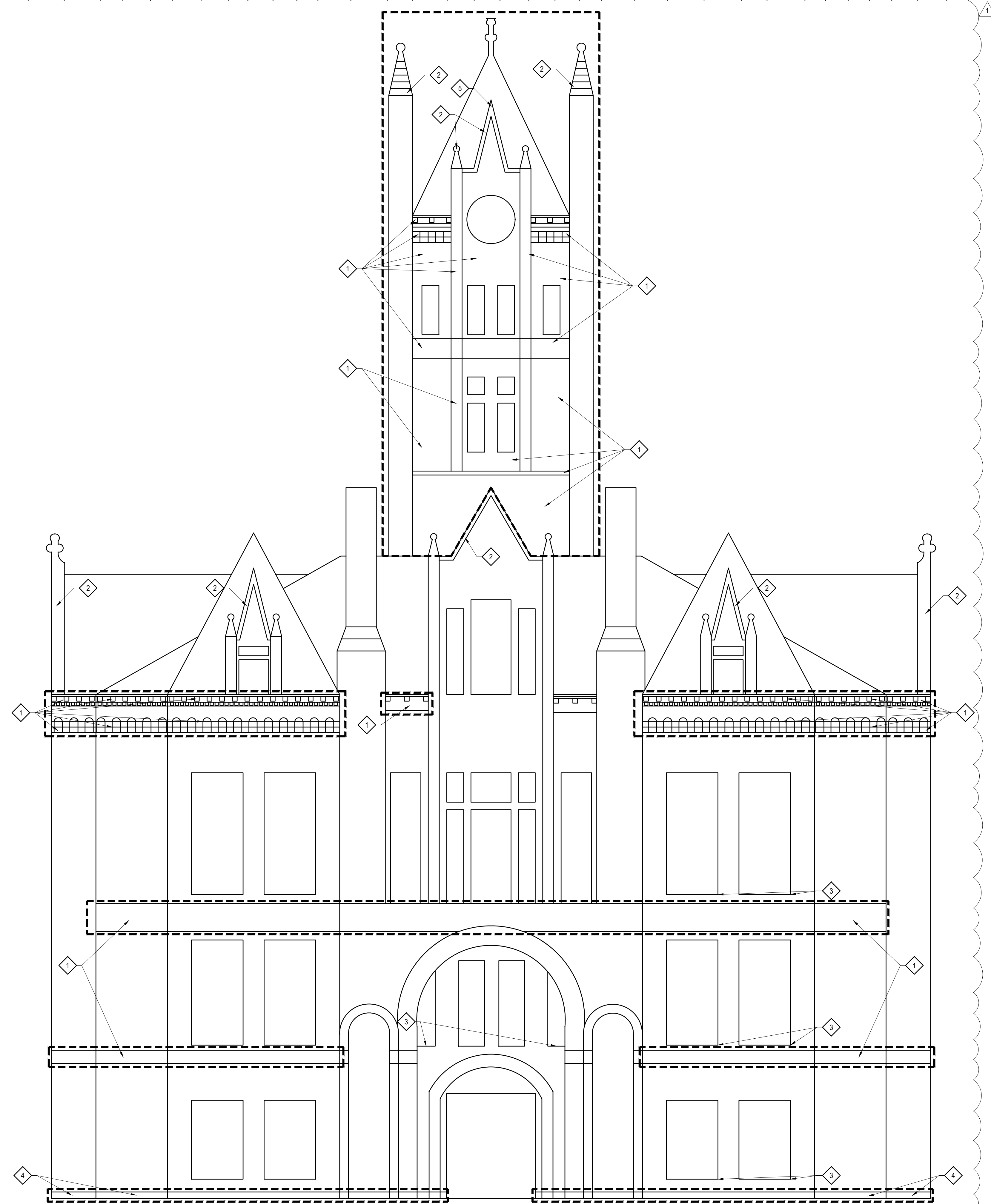
PROJECT NUMBER:
240182

DESCRIPTION:	DRAWN BY:	DATE ISSUED:
1 ADDENDUM ONE	JG	4/4/25

DATE ISSUED:	DRAWN BY:	CHECKED BY:
03/25/2025	VD	SM

DRAWING TITLE:
ATTIC FLOOR PLAN

SHEET NUMBER:
A101



SOUTH ELEVATION
 HANCOCK COUNTY COURTHOUSE
 A103 SCALE: 3/32"=1'-0"

WALL PLAN SCOPE OF WORK:

BASE WORK

- 1 CUT OUT ALL EXISTING HORIZONTAL AND VERTICAL MORTAR JOINTS AND/OR CAULKING AND TUCKPOINT. SEE DETAIL 10/A107.
- 1. POINTING MORTAR FOR STONE: ONE PART WHITE PORTLAND CEMENT ONE PART LIME SIX PARTS SAND
 - A. ADD MORTAR PIGMENTS TO PRODUCE MORTAR COLORS REQUIRED
- 2 RAKE OR GRIND OUT AND CLEAN ALL EXISTING CAULK OR MORTAR AT ALL COPING JOINTS AND CONES AT TOP OF TURNETS ON THIS ELEVATION. ROPE AND RE-CAULK WITH NEW TOOLED URETHANE SEALANT. SEE DETAIL 10/A107.
- 3 REMOVE EXISTING CAULK FROM ALL EXISTING WINDOWS SILLS AND CLEAN, RE-CAULK WITH SINGLE COMPONENT NONSAG URETHANE SEALANT AROUND ALL EXISTING WINDOW SILLS. SEE DETAIL 10/A107.
- 4 CUT OUT ALL EXISTING VERTICAL MORTAR JOINTS AND/OR CAULKING AT FOUNDATION AND TUCKPOINT. SEE DETAIL 10/A107.
- 5 RESET EXISTING STONE AT TOP OF COPING

GENERAL NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS, INCLUDING ANY PERMITS REQUIRED FOR STAGING STREETSIDE AND/OR BLOCKING OF TRAFFIC DURING CONSTRUCTION OPERATIONS.
- B. CONTRACTOR IS RESPONSIBLE FOR SAFETY OF STAFF AND PUBLIC AROUND CONSTRUCTION AREAS. MAIN ENTRANCE ON EAST ELEVATION IS TO REMAIN OPEN TO THE PUBLIC, AND ENTRANCE AND ASSOCIATED DRIVE ON SOUTH ELEVATION IS TO REMAIN ACCESSIBLE FOR PRISONER DROP OFF AND PICK UP THROUGHOUT CONSTRUCTION. CONTRACTOR TO PROVIDE REQUIRED OVERHEAD PROTECTION AT EXTERIOR DOORS THAT ARE TO BE ACCESSIBLE.

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HANCOCK COUNTY - IN
 MASONRY REPAIRS AND INSULATION UPGRADES FOR HANCOCK COUNTY COURTHOUSE

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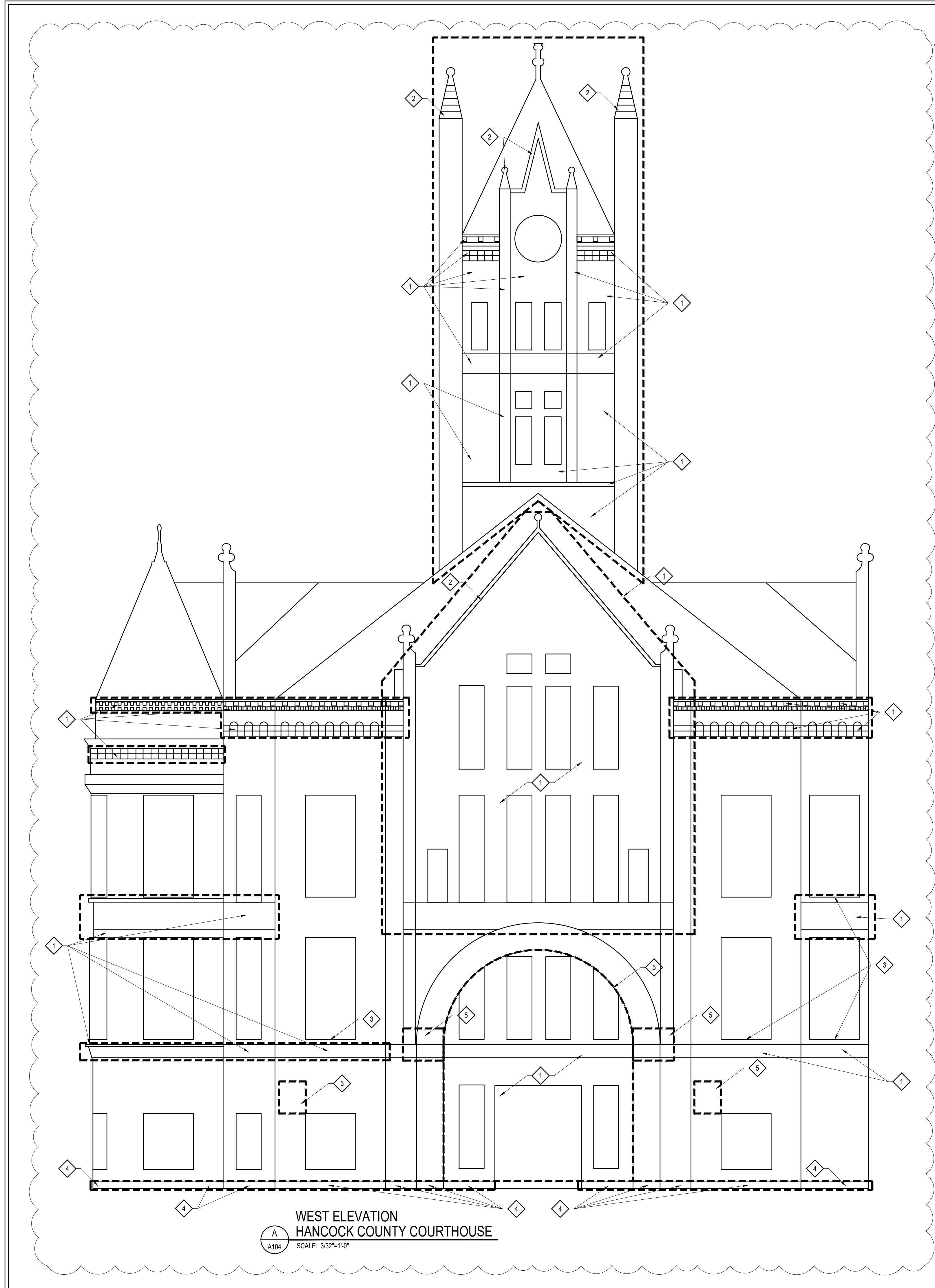
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DRAWING TITLE:
COURTHOUSE ELEVATION

SHEET NUMBER:
A103

HANCOCK COUNTY COURTHOUSE
 9 E MAIN STREET
 GREENFIELD, IN 46140



WALL PLAN SCOPE OF WORK:

BASE WORK

- 1 CUT OUT ALL EXISTING HORIZONTAL AND VERTICAL MORTAR JOINTS AND/OR CAULKING AND TUCKPOINT. SEE DETAIL 10/A107.
 - A. POINTING MORTAR FOR STONE: ONE PART WHITE PORTLAND CEMENT ONE PART LIME SIX PARTS SAND
 - 1. ADD MORTAR PIGMENTS TO PRODUCE MORTAR COLORS REQUIRED
- 2 RAKE OR GRIND OUT AND CLEAN ALL EXISTING CAULK OR MORTAR AT ALL COPING JOINTS AND CONES AT TOP OF TURNETS ON THIS ELEVATION. ROPE AND RE-CAULK WITH NEW TOOLED URETHANE SEALANT. SEE DETAIL 10/A107
- 3 REMOVE EXISTING CAULK FROM ALL EXISTING WINDOWS SILLS AND CLEAN. RE-CAULK WITH SINGLE COMPONENT NONSAG URETHANE SEALANT AROUND ALL EXISTING WINDOW SILLS. SEE DETAIL 10/A107.
- 4 CUT OUT ALL EXISTING VERTICAL MORTAR JOINTS AND/OR CAULKING AT FOUNDATION AND TUCKPOINT. SEE DETAIL 10/A107.
- 5 DRILL OUT ALL CRACKS. PROVIDE NEW RESTORATION MORTAR AT ALL SPALLED AREAS AND INJECTION GROUT AT ALL CRACKS.
 - A. AVAILABLE RESTORATION MORTAR PRODUCT
 - 1. JAHN RESTORATION MORTAR
 - 2. CONPROCO MATRIX RESTORATION MORTAR
 - B. AVAILABLE INJECTION GROUT PRODUCT
 - 1. JAHN INJECTION GROUT
 - 2. CONPROCO MATRIX INJECTION GROUT
- 6 CLEAN ALL EXISTING LIMESTONE ON THE BUILDING ELEVATIONS
 - A. AVAILABLE CLEANER
 - 1. ENVIRO KLEAN RESTORATION CLEANER; MIX WITH WATER HEATER TO 140-160 DEGREES FAHRENHEIT.

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HANCOCK COUNTY - IN



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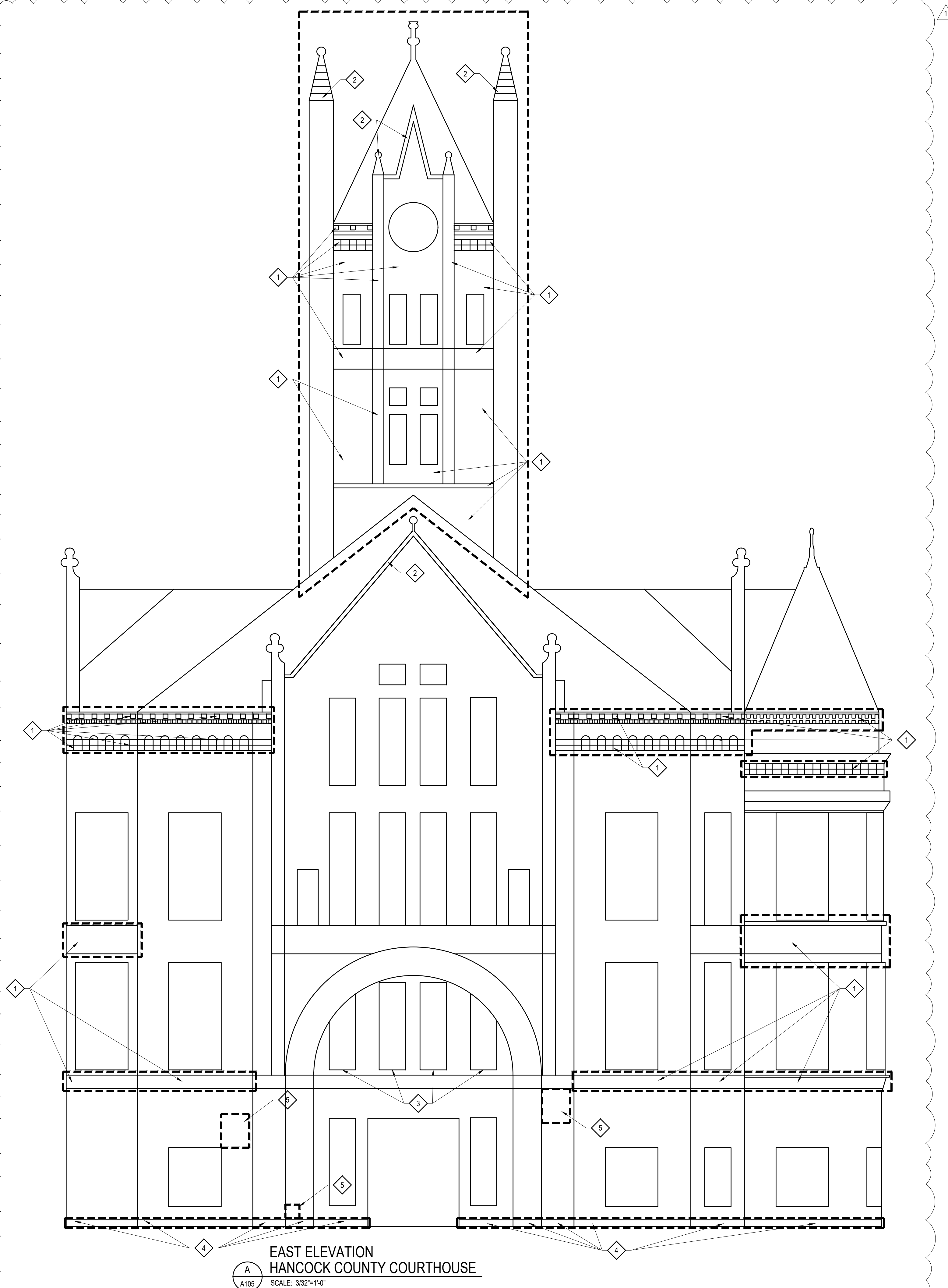
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COURTHOUSE ELEVATION

SHEET NUMBER:

A104

HANCOCK COUNTY COURTHOUSE
9 E MAIN STREET
GREENFIELD, IN 46140



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- 6 CLEAN ALL EXISTING LIMESTONE ON THE BUILDING ELEVATIONS
 - A. AVAILABLE CLEANER
 - 1. ENVIRO KLEAN RESTORATION CLEANER; MIX WITH WATER HEATER TO 140-160 DEGREES FAHRENHEIT.

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DRAWING TITLE:

**COURTHOUSE
ELEVATION**

SHEET NUMBER:

A105

HANCOCK COUNTY COURTHOUSE
9 E MAIN STREET
GREENFIELD, IN 46140



WALL PLAN SCOPE OF WORK:

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DRAWING TITLE:

COURTHOUSE ELEVATION

SHEET NUMBER:

A106

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9 E MAIN STREET
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