



A D D E N D U M

Project No.: 2401519
Project: YWCA of NE IN Hefner Kitchen

Addendum No: 3
Date: 12/02/2024

TO: ALL BIDDERS OF RECORD

ADDENDUM NO. 3, to Drawings and Specifications dated 10/30/2024, for the Hefner Kitchen project for the YWCA of Northeast Indiana; as prepared by ELEVATUS Architecture, 111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802

This ADDENDUM shall hereby be and become a part of the Contract Documents the same as if originally bound thereto.

The following clarifications, amendments, additions, revisions, changes, and modifications change the original Contract Documents only in the amount and to the extent hereinafter specified and set forth in this ADDENDUM.

Each Bidder shall acknowledge receipt of this ADDENDUM on the Bid Form.

CLARIFICATIONS:

ITEM NO. 1.01 – PRIMARY ENGINEERING ADDENDUM 3 REPORT

- A. See attachment for more information.

ITEM NO. 1.02

- A. The areas in the project scope are considered to be commercial kitchens.

DRAWINGS:

ITEM NO. 2.01 - DRAWING NO. – A2.11 FIRST FLOOR PLAN – UNIT M

- A. Walls to be furred out at locations where panelboards K1, K2, and K3 exist.

Submitted By:

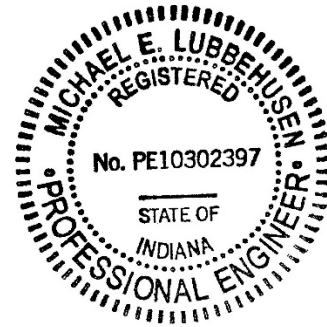
Brad Wanek
Associate | Architect



cc: File: Document
 Owner:
 Contractor:
 Consultant:
 Consultant:



Primary Engineering, Inc.
2828 Lake Ave.
Fort Wayne, Indiana 46805
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Addendum: **3**

Date: **12/02/2024**

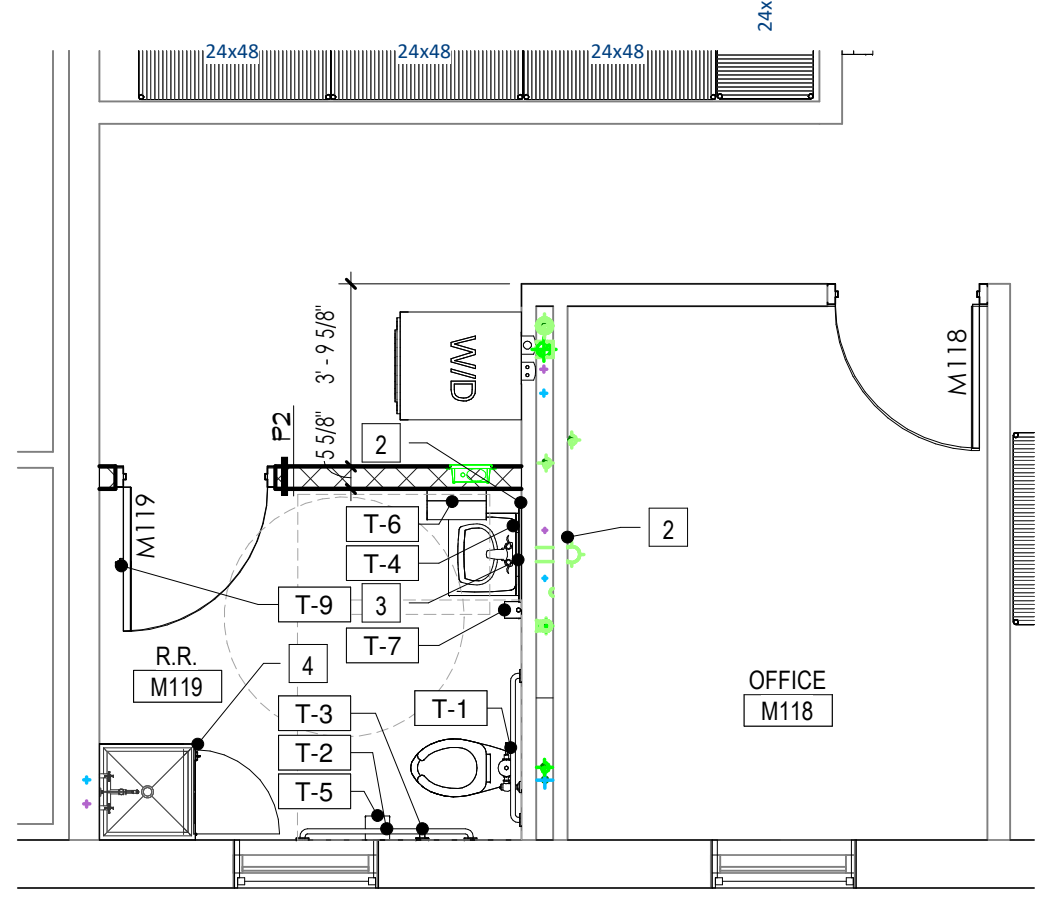
Project: **YWCA Northeast Indiana
Hefner Kitchen**

Comm #: **24599**

The following items shall be incorporated into the specifications and drawings and are considered to be integral to the bid documents for the project. Acknowledgement of receipt of this addendum is required on the bid form.

Item #1: Drawing Sheet E2.01

- A.** All receptacles in Kitchen M104, Kitchen M117, Training Kitchen M121 and Warming Kitchen M122 shall be GFCI protected devices (non feed-through).
- B.** All exposed conduit in Kitchen M104, Kitchen M117, Training Kitchen M121 and Warming Kitchen M122 shall be ERMC (threaded rigid) type with FS type boxes up to above ceiling. Rooms are to be considered WET location below ceiling.
- C.** Panelboards K1, K2 & K3 shall be flush type covers in furred-out wall construction.



2 Enlarged Floor Plan
1/4" = 1'-0"
north

EQUIPMENT SCHEDULE								
Type Mark	Description	Supplier	Installer	Power	Data	Plumbing	Gas	Comments
Q-1	MICROWAVE OVEN	OWNER	OWNER	•				SHOWN WITHOUT OPTIONAL TRIM KIT
Q-2	UNDERCOUNTER DISHWASHER	OWNER	CONTRACTOR	•				
Q-3	FLOOR MOUNTED ICE MACHINE	OWNER	CONTRACTOR	•		•		
Q-4	CAN OPENER	OWNER	OWNER	•				
Q-5	2 GLASS DECANTER	OWNER	OWNER	•				PROVIDE OPEN SPACE ABOVE FOR SECOND GLASS
Q-6	2 GLASS DECANTER	OWNER	OWNER	•				NO PLUMBING CONNECTION
Q-7	TOASTER, 4-SLICE	OWNER	OWNER	•				
Q-8	REACH-IN SOLID SWING DOOR FREEZER	OWNER	CONTRACTOR	•				
Q-9	REACH-IN SOLID SWING DOOR REFRIGERATOR	OWNER	CONTRACTOR	•				
Q-10	WORK TABLE	OWNER	OWNER					5' TABLE
Q-11	WORK TABLE	OWNER	OWNER					7' TABLE
Q-12	INSTANT POT	OWNER	OWNER	•				
Q-13	AIR FRYER	OWNER	OWNER	•				
Q-14	TOASTER OVEN	OWNER	OWNER	•				

- floor plan notes**
- INFILL EXISTING MASONRY OPENING WITH MATERIALS TO MATCH ADJACENT WALLS
 - REMOVE REMAINING COMPONENTS FROM ABANDONED PLUMBING FIXTURE AND PATCH WALL TO MATCH ADJACENT
 - PROVIDE SEALANT BETWEEN WALL SURFACE AND PLUMBING FIXTURE EDGES, ALL SIDES
 - STAINLESS STEEL MOP SINK CABINET, BASIS OF DESIGN = REGENCY 6055AC235D
 - PROVIDE LOCKABLE PLASTIC COVER OVER EXISTING CONTROL KNOBS, CONTRACTOR TO VERIFY SIZE REQUIRED TO FULLY COVER EXISTING KNOBS LOCATED ON WALL
 - 48" PARTIAL HEIGHT WALL, SIMILAR TO WALL TYPE P1.2, F.V. TO LOCATE WALL PARTITION OVER EXISTING PLUMBING LINES, INSTALL PITCCON INDUSTRIES 3'x8' KNEE BRACE KIT WITH PLATE AT ENDS OF WALL TO ANCHOR IN PLACE
 - INSTALL 3 1/2" SOUND ATTENUATION BATS TIGHT TO METAL DECK, FASTEN TO SECURE IN PLACE
 - CONTRACTOR TO COORDINATE WORK WITH THIRD PARTY VENDOR TO CREATE FULLY FUNCTIONING COOLER AND FREEZER UNITS, BASIS OF DESIGN IS TO COORDINATE FOR REWORK OF EXISTING UNITS AS NEEDED TO BECOME FULLY OPERATIONAL, SEE SPECIFICATIONS FOR AMOUNT TO BE INCLUDED AS AN ALLOWANCE TOWARDS THE WORK
 - NEW MASONRY WALL TO BE FLUSH WITH EXISTING MASONRY WALL
 - WALL HINGE FIRE EXTINGUISHER, SEE SPECIFICATIONS FOR MORE INFORMATION
 - PATCH CONCRETE SLAB WHERE PLUMBING IS REMOVED, FINISH SMOOTH WITH SURROUNDING SLAB TO ENSURE SUCCESSFUL FLOORING INSTALLATION WITHOUT TELEGRAPHING
 - PATCH WALL AROUND NEW DOOR, CONSTRUCTION TO MATCH ADJACENT MATERIALS AND FINISHES, FIELD VERIFY REQUIREMENTS
 - NEW ADA EXTERIOR RAMP, SEE CIVIL DRAWINGS FOR MORE INFORMATION
 - EXISTING HOOD TO BE REUSED, CONTRACTOR TO COORDINATE WITH LOCAL AUTHORITIES AND CODE ENFORCEMENT FOR UPDATES REQUIRED TO HOOD TO ALLOW FOR FULL FUNCTIONING IN NEW PROJECT, SEE SPECIFICATIONS FOR AMOUNT TO BE INCLUDED AS AN ALLOWANCE TOWARDS THE WORK
 - FIELD VERIFY EXACT LOCATION OF FURRED OUT WALL WITH PANELBOARD INSTALL LOCATION

- floor plan general notes:**
- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
 - CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, & NATIONAL BUILDING CODES AND THE AMERICANS WITH DISABILITY ACT.
 - THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS RELATIVE TO THE PROJECT AS ILLUSTRATED AND DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT / ENGINEER IMMEDIATELY FOR RESOLUTION.
 - ANY PENETRATIONS IN DESIGNATED FIRE WALLS SHALL MAINTAIN THE REQUIRED FIRE SEPARATIONS BETWEEN AREAS, SEE THE CODE STUDY SHEETS FOR ADDITIONAL FIRESTOPPING REQUIREMENTS.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE EQUIPMENT MANUFACTURER TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION AND USE.
 - DO NOT SCALE THE DRAWINGS.
 - ALL DIMENSIONS ARE FROM THE FACE OF STEEL STUDS OR CMU, UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL LAYOUT & MARK ALL WALLS & OPENINGS PRIOR TO CONSTRUCTION, ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
 - REFERENCE RELATED ELECTRICAL, STRUCTURAL, MECHANICAL & PLUMBING DOCUMENTS FOR NEW CONSTRUCTION.
 - ALL NEW OR EXISTING FLOOR, CEILING, AND DECK PENETRATIONS SHALL BE ACOUSTICALLY CAULKED, UNLESS FIRE RATED, THEN PROVIDE PATCHING, FIREPROOFING, AND SEALANT TO MATCH RATING, PATCHES SHALL NOT ALLOW LIQUID TO PENETRATE AND CONFORM TO EQUAL FIRE RATINGS OF SURROUNDING MATERIAL.

- floor plan legend:**
- EXISTING WALL PARTITION
 - STUD WALL PARTITION, REFER TO THE WALL TYPE SHEET FOR MORE INFORMATION.
 - MASONRY WALL PARTITION, REFER TO THE WALL TYPE SHEET FOR MORE INFORMATION.

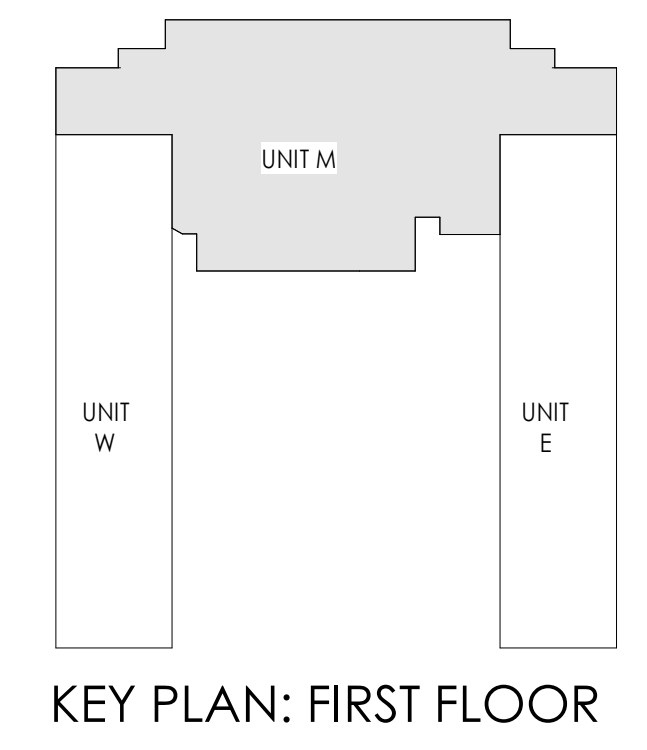
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WILLIAM BRADLEY WALKER
REGISTERED ARCHITECT
STATE OF INDIANA
No. AR11600226
W. B. Walker



1 First Floor Plan - Unit M
1/8" = 1'-0"
north



YWCA Northeast Indiana, Inc.
Hefner Kitchen
1313 W. Washington Center Road, Fort Wayne, IN 46825

**eliminating racism
empowering women**
ywca
Northeast Indiana

REVISIONS		
NO.	DESCRIPTION	DATE
2	APPENDIX #3	12/02/2024

PROJECT NO. 2401519 ISSUE DATE 10.30.2024
SUBMITTAL 100% Construction Documents

First Floor Plan - Unit M

A2.11