

RCSC Middle School **Natatorium HVAC & Lighting Upgrade**

Project # 2023.0011

05-20-2024

ADDENDUM NO. 01

This addendum is issued as a supplement to the plans and specifications and shall be considered an integral part of the same. Acknowledgement of receipt of this addendum is required on the Bid Form.

General

Item: A-1.1

Location: General

Description: Incorporate the Pre-Bid Meeting Minutes held 05-15-2024 and issued 05-20-2024 into the contract documents.

Drawings

Item: A-1.2

Location: D1.1 First Floor Demolition Plan

Description: Replace drawing dated 05-01-2024 with drawing marked Addendum 01, dated 5-20-2024

1. Reduced the amount of 2x2 yellow tile being removed.
2. Updated notes on brown 2x2 tile around concrete bleachers.
3. Updated box note for protection of the pool floor and responsibility to drain the pool.
4. Added notes 1.23 through 1.30.

Item: A-1.3

Location: D9.1 Reflected Ceiling / Roof Demolition Plan

Description: Replace drawing dated 05-01-2024 with drawing marked Addendum 01, dated 5-20-2024

1. Make note of warranty information about the existing roof in box note.
2. Added section detail 2 / D9.1.

Item: A-1.4

Location: A1.1 First Floor Plan

Description: Replace drawing dated 05-01-2024 with drawing marked Addendum 01, dated 5-20-2024

1. Added Notes 1.17 to 1.20
2. Added details 2 / A1.1 and 3 / A1.1.
3. Updated dimensions of door C121b.
4. Suspected brick veneer of building is from Cloud Ceramics, color French Grey.
Architect to confirm with mockup.

Item: A-1.5

Location: A5.1 Building Sections and Elevations

Description: Replace drawing dated 05-01-2024 with drawing marked Addendum 01, dated 5-20-2024

1. Added Notes 5.36 to 5.38
2. Updated Notes 5.03, 5.06, 5.13, 5.30, 5.31, 5.32
3. Updated colors for Tectum Panels and added legend.

Item: A-1.6

Location: A5.2 Building Sections and Elevations

Description: Replace drawing dated 05-01-2024 with drawing marked Addendum 01, dated 5-20-2024

1. Added Notes 5.36 to 5.38
2. Updated Notes 5.03, 5.06, 5.13, 5.30, 5.31, 5.32
3. Updated location of Backboards and Bulletin Board, with shift of Door C121B.
4. Updated colors for Tectum panels and added legend.

Item: **A-1.7**
Location: A7.1 Door Schedule and Details
Description: Replace drawing dated 05-01-2024 with drawing marked Addendum 01, dated 5-20-2024

1. Updated Details 1 / A7.1, 4 / A7.1.
2. Deleted details for continuous hinge and knuckle hinge.
3. Added Detail 7 / A7.1
4. Revised Door Schedule Notes and Remarks.
5. Updated Door Hardware set numbers to correspond with Updated Specification.

Item: **A-1.8**
Location: A9.1 Reflected Ceiling Plan & Details
Description: Replace drawing dated 05-01-2024 with drawing marked Addendum 01, dated 5-20-2024

1. Removed note and detail for suspended gypsum ceiling in office.
2. Updated detail 2 / A9.1.

Item: **A-1.9**
Location: A10.1 Casework Details
Description: Replace drawing dated 05-01-2024 with drawing marked Addendum 01, dated 5-20-2024

1. Updated colors on casework.

Item: **A-1.10**
Location: A11.1 Interior Finish Plan & Details
Description: Replace drawing dated 05-01-2024 with drawing marked Addendum 01, dated 5-20-2024

1. Updated Details 2 / A11.1, 3 / A11.1, 4 / A11.1 to reflect Epoxy floor finish over existing tile.
2. Added Detail 5 / A11.1.
3. Updated Finish Schedule with Colors and Notes
4. Revised notes 11.01, 11.07, 11.08

Specifications

Item: **A-1.11**
Location: **Specifications**
Description: **Replace specification with updated specification. Door Hardware section 087100.**

Item: **A-1.12**
Location: **Specifications**
Description: **Replace specification with updated specification. Alternates Section 012300.**

Item: **A-1.13**
Location: **Specifications**
Description: **Replace specification named "Vapor Retarder 072600" with updated specification renamed Vapor Barrier Section 072600.**

Item: **A-1.14**
Location: **Specifications**
Description: **Replace specification with updated specification Table of Contents Section 0000110.**

Item: M-1.1
Location: Specification: Section 230713- Duct Insulation.
Description: Clarification: Supply and Return air ductwork located within the bulkhead on the south end of the Natatorium is to be externally wrapped with insulation. Any exposed aluminum supply air ductwork located within the Pool area, is not required to be insulated.

Item: M-1.2
Location: Specification: Section 233713- Diffusers, Registers, and Grilles.
Description: Addition: Add "e. Krueger." and "f. Metalaire" to paragraph 2.2, A., 1.

Contractor Questions

Q1: Is Hussey Seating product "Courtside XC10" bench seat an acceptable "as equal" product for bidding comparisons?

A1: Yes

Q2: There are various testing requirements for installed products in the specification book. Who is paying for the testing costs?

A2: Products like Asbestos will be tested and removal paid for by the Owner. For other Products, if the Owner requests additional tests beyond specified standard, it will be paid for by the Owner. The Contractor shall include pricing in his bid for all testing noted as included for things such as preconstruction testing, field controls and quality assurance.

Q3: Can you verify the maximum amount of weight of equipment allowed on the deck around the pool? Is there a tunnel around the deck of the pool or is it slab on grade?

A3: From the existing drawings, the pool deck is tile over a slab on grade. However, the Contractors are not allowed to use heavy equipment like a lift on the pool deck. All tiles to remain shall be protected throughout construction from damage like heavy equipment moving over the surface and falling objects. The Contractor shall be responsible for replacing all tile damaged that was expected to remain. Contractor shall spread out all point loads on tile such as under the feet of scaffolding.

Q4: Can other manufacturers/suppliers submit "as equal" products for pool equipment specified?

A4: The other manufacturer or supplier can submit a list of products they feel are truly equal with pricing for comparison and these will be evaluated during the bid selection process. The selection of Pool Equipment will either come entirely from one package or another--the Owner will not split up or "piece meal" equipment between multiple suppliers.

Q5: Vapor Barrier specified is wrong type.

A5: Specification 072600 renamed to Barrier and content updated to provide a 10 mil vapor barrier with perm rating of zero. Vapor Barrier to be installed on the warm / humid side of the pool wall to prevent moisture transmission into the wall cavity.

Q6: Are pressfit black pipe fittings (ie Viega Megapress or Appollo Meg press) acceptable for above ground natural gas piping?

A6: Viega MegaPress and Apollo PowerPress are acceptable for use on aboveground natural gas piping.

Q7: Can you please schedule the AC-1/ACCU-1 minisplit system?

A7: Refer to the Mechanical Equipment schedule included on sheet MG1.0 of the construction drawings.

Rochester Community School Corporation
Middle School Natatorium HVAC & Lighting Upgrade
Pre-Bid Meeting Minutes

Project # 2023.0011

May 20, 2024

Minutes Issued: 05/20/2024

Location: Rochester Learning Center

Those Present:

Jana Vance	RCSC
Terry Thornsburg	Viridian Architectural Design
Nate Fast	Viridian Architectural Design
Jason Brand	SCO

Jana.vance@zebras.net
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nate@viridian-design.net
jbrand@sco-llc.com

See sign in sheet for additional attendees- Attached

ITEMS DISCUSSED:

1. Sign-in Sheet was made available and all attendees were asked to sign in.
2. Introductions were made of the Design Team Personnel.
3. The project is a public bid project, and the Indiana Common wage Act (Section 007375), applies to the project, see the requirements listed in the specifications.
4. There are a few checklists in the documents for the contractor to verify that all items are submitted. Section 004393 Bid Submittal covers items to be included in the bid submission, and 007400 Contractor Checklist covers items needed to execute the contract.
5. The project is tax exempt. There is a 5% Bid Bond and 100% Performance and Payment Bond.
6. There is a Contingency Allowance (Section 012100) that is to be included in the base bid.
7. RCSC is a **NO** tobacco campus to include all cigarettes, chewing tobacco, e-cigarettes, etc.
8. Bidders were allowed to inspect the site following the Pre-Bid. Contractors may contact Nate Fast for additional access to the site.
9. Construction will start as soon as the project is awarded, by mid June 2024.
10. The project has a Substantial Completion deadline of July 25, 2025.
11. Drawings and specification books can be ordered / picked up at Eastern Engineering in Fort Wayne (1239 Wells Street, Fort Wayne, IN, P: 800-782-4115). Bidders must purchase drawings from Eastern Engineering in order to be on Bidder List and Receive addenda updates. Complete hard copy sets can be purchased for a

\$400 refundable deposit. Sets may be returned that are complete, reasonably clean, and free of pen / pencil or highlighter marks within 10 days from Bid date.

12. All questions and requests for substitutions shall be submitted to Nate Fast via email (nate@viridian-design.net) no later than 12 noon Wednesday, May 22, 2024 for consideration.
13. Rochester Community Schools will be receiving sealed Bids for the Middle School Natatorium project up until 1:00 pm on Friday, May 31, 2024 at the Rochester Learning Center, mailing address: 1818 Park Road, Rochester, Indiana 46975. Bid opening will be immediately after.
14. It was clarified that the Addendum will update notes on the drawings indicating that the Contractor is responsible for draining the pool. The school stated they would be responsible for the draining of the Pool.
15. Terry indicated that Viridian would share pictures of the conditions above ceiling in a forthcoming addendum.
16. Terry indicated that an additional Alternate will be added, regarding interior painting of tectum panels.
17. A question about insulating interior ductwork was asked. This will be addressed in a forthcoming addendum.
18. Jim mentioned that the conduit by the Timer's table that is slab recessed will be PVC rigid
19. It was asked if there was something that can be updated on the drawings or in the specification to allow alternate products for pool equipment? Terry stated that the competitor pool equipment contractor can provide a list of proposed substitutions during bidding process for comparison.
20. Questions asked during the Pre-Bid Meeting and walk-through will be addressed in a forthcoming addendum.

Any revisions to these minutes, please notify the undersigned.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "N Fast", with a stylized, sweeping flourish extending from the end.

Nate Fast, Architect
Viridian Architectural Design, Inc.

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RCSC - MS Natatorium Renovation
Project No. 2023.0011
Pre-Bid Meeting
(Rochester Indiana)

Date: May 15, 2024

SIGN-IN SHEET

Please Print Legibly & Leave a Business Card

NAME	COMPANY	E-MAIL
Todd March	Brown - n Brown	Todd E bbs.us
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SECTION 012300 - ALTERNATES**PART 1 - GENERAL****1.1 RELATED DOCUMENTS**

- A.** Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A.** This Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A.** Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A.** Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B.** Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C.** Execute accepted alternates under the same conditions as other work of the Contract.
- D.** Schedule: A Schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (NOT USED)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. ALTERNATE A-1 (ADD)

State the complete cost to cut the top wall of the concrete bench and add (1) row of modular Infinity seats and a stainless-steel railing.

B. ALTERNATE A-2 (ADD)

State the complete cost to paint all tectum panels up to (4) coats with paint as shown on Interior Finish Schedule.

END OF SECTION 012300

SECTION 072600 - VAPOR BARRIERS

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Fire-retardant, polyethylene vapor barriers.

B. Related Requirements:

1. Section 072100 "Thermal Insulation" for vapor barrier integral with insulation products.

1.2 ACTION SUBMITTALS

A. Product Data:

1. Fire-retardant, polyethylene vapor retarders.

1.3 INFORMATIONAL SUBMITTALS

- A. Product Test Reports: For each product, for tests performed by a qualified testing agency.

PART 2 - PRODUCTS

2.1 FIRE-RETARDANT, REINFORCED-POLYETHYLENE VAPOR RETARDERS

- A. Fire-Retardant, 10 mil Polyethylene Vapor Barrier: with permeance rating of 0 perm.

1. Surface-Burning Characteristics: Maximum flame-spread and smoke-developed indexes of **[5 and 20]** respectively, per ASTM E84.
2. Tyvek, 6 mil polyethylene, kraft paper, greenboard, sheet rock or foil face products are not acceptable substitutes. Provide a vapor barrier recommended for Natatoriums.

2.2 ACCESSORIES

- A. Vapor-**Barrier** Tape: Pressure-sensitive tape of type recommended by vapor-barrier manufacturer for sealing joints and penetrations in vapor barrier.
- B. Adhesive for Vapor Barrier: Product recommended by vapor-barrier manufacturer and has demonstrated capability to bond vapor barrier securely to substrates indicated.
- C. Vapor-Retarder Fasteners: Pancake-head, self-tapping steel drill screws; with fender washers.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Clean substrates of substances that are harmful to vapor barrier, including removing projections capable of puncturing vapor barrier.

3.2 INSTALLATION OF VAPOR RETARDERS ON FRAMING

- A. Place vapor barrier on the warm / humid side of the pool wall.
- B. Extend vapor barrier to extremities of areas to prevent vapor transmission. Secure vapor barrier in place with adhesives, vapor barrier fasteners, or other anchorage system as recommended by manufacturer. Extend vapor retarders to cover miscellaneous voids in insulated substrates, including those filled with loose-fiber insulation.
- C. Seal vertical joints in vapor barrier over framing by lapping no fewer than two studs and sealing with vapor-barrier tape according to vapor-barrier manufacturer's written instructions. Locate all joints over framing members or other solid substrates.
- D. Seal joints caused by pipes, conduits, electrical boxes, and similar items penetrating vapor barrier with vapor-barrier tape to create an airtight seal between penetrating objects and vapor barrier.
- E. Repair tears or punctures in vapor barrier immediately before concealment by other work. Cover with vapor-barrier tape or another layer of vapor barrier.

3.3 PROTECTION

- A. Protect vapor barrier from damage until concealed by permanent construction.

END OF SECTION 072600

SECTION 08710 - DOOR HARDWARE

PART 1- GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This section includes items known commercially as finish or door hardware that are required for swing, sliding, and folding doors, except special types of unique hardware specified in the same sections as the doors and door frames on which they are installed.
- B. This section includes the following:
 - 1. Hinges.
 - 2. Lock cylinders and keys.
 - 3. Lock and latch sets.
 - 4. Bolts.
 - 5. Push/pull units.
 - 6. Closers.
 - 7. Overhead stops
 - 8. Kick plates.
 - 9. Smoke Seals
- C. Related Sections: The following Sections contain requirements that relate to this Section:
 - 1. Division 6 Section "Interior Architectural Woodwork" for cabinet hardware.
 - 2. Division 8 Section "Standard Steel Doors and Frames" for silencers integral with hollow metal frames.
 - 3. Division 8 Section "Flush Wood Doors" for factory prefabricating and factory premachining of doors for door hardware.

1.3 SUBMITTALS

- A. General: Submit the following in accordance with Conditions of Contract and Division 1 Specification sections.
- B. Product data including manufacturer's technical product data for each item of door hardware, installation instructions, maintenance of operating parts and finish, and other information necessary to show compliance with requirements.
- C. Final hardware schedule coordinated with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of door hardware.
 - 1. Final Hardware Schedule Content: Based on hardware indicated, organize schedule into "hardware sets" indicating complete designations of every item required for each door or opening. Include the following information:
 - a. Type, style, function, size, and finish of each hardware item.
 - b. Name and manufacturer of each item.
 - c. Fastenings and other pertinent information.

- d. Location of each hardware set cross referenced to indications on Drawings both on floor plans and in door and frame schedule.
 - e. Explanation of all abbreviations, symbols, and codes contained in schedule.
 - f. Mounting locations for hardware.
 - g. Door and frame sizes and materials.
 - h. Keying information.
2. Submittal Sequence: Submit final schedule at earliest possible date particularly where acceptance of hardware schedule must precede fabrication of other work that is critical in the Project construction schedule. Include with schedule the product data, samples, shop drawings of other work affected by door hardware, and other information essential to the coordinated review of schedule
3. Keying Schedule: Submit separate detailed schedule indicating clearly how the Owner's final instructions on keying of locks has been fulfilled.
- E. Templates for doors, frames, and other work specified to be factory prepared for the installation of door hardware. Check shop drawing of other work to confirm that adequate provision are made for locating and installing door hardware to comply with indicated requirements.

1.4 QUALITY ASSURANCE

- A. Single Source Responsibility: Obtain each type of hardware (latch and lock sets, hinges, closers, etc.) From a single manufacturer
- B. Supplier Qualification: A recognized architectural door hardware supplier, with warehousing facilities within 50 miles of the job site that has a record of successful in-service performance for supplying door hardware similar in quantity, type, and quality to that indicated for this Project and that employs an experienced architectural hardware consultant who is available to Owner, Architect, and Contractor, at reasonable times during the course of the Work, for consultation..
1. Require supplier to meet with Owner to finalize keying requirements and to obtain final instructions in writing.
- C. Fire-Rated Openings: Provide door hardware for fire-rated openings that complies with NFPA Standard No. 80 and requirements of authorities having jurisdiction. Provide only items of door hardware that are listed and are identical to Protect tested by UL, Warnock Hersey, FM, or other testing and inspecting organization acceptable to authorities having jurisdiction for use on types and sizes of door indicated in compliance with requirements of fire-rated door and door frame labels

1.5 PRODUCT HANDLING

- A. Tag each item or package separately with identification related to final hardware schedule, and include basic installation instructions with each item or package.
- B. Packaging of door hardware is responsibility of supplier. As material is received by hardware supplier from various manufacturers, sort and repackage in containers clearly marked with appropriate hardware set number to match set number of approved hardware schedule. Two or more identical sets may be packed in same container.
- C. Inventory door hardware jointly with representative of hardware supplier and hardware installer until each is satisfied that count is correct.
- D. Deliver individually packaged door hardware items promptly to place of installation (shop or Project site).

- E. Provide secure lock-up for door hardware delivered to the Project, but not yet installed. Control handling and installation of hardware items that are not immediately replaceable so that completion of the Work will not be delayed by hardware losses both before and after installation.

1.6 MAINTENANCE

- A. Maintenance Tools and Instructions: Furnish a complete set of specialized tools and maintenance instructions as needed for Owner's continued adjustment, maintenance, and removal and replacement of door hardware.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Available Manufacturers: subject to compliance with requirements, manufacturers offering products that may be incorporated in the work include the following: (Manufacturer whose name is prefixed with an asterisk *, indicates the manufacturer whose products are listed in the schedule at the end of this section.) No other manufacturers will be considered.

1. Butts and Hinges:
 - a. *Ives
 - b. McKinney
2. Lock and Latchsets
 - a. *Schlage (prepared for Best Cores).
3. Wall and Floor Stops and Flush Bolts
 - a. H.B. Ives Co.
 - b. *Rockwood
 - c. *Trimco
4. Overhead Closers
 - a. *LCN
5. Kick, Mop, and Armor Plates:
 - a. *Ives
 - b. Burns
 - c. Rockwood
6. Thresholds, Weatherstripping
 - a. National Guard
5. Exit Devices
 - a. *Von Durin

2.2 SCHEDULED HARDWARE

- A. Requirements for design, grade, function, finish, size, and other distinctive qualities of each type of finish hardware are indicated in the "Hardware Schedule" at the end of this Section. Products are identified by using hardware designation numbers of the following:
 1. Manufacturer's Product Designation: The product designation and name of one manufacturer are listed for each hardware type required for the purpose of establishing minimum requirements. Provide either the product designated or, where more than one manufacturer is specified under the Article "Manufacturers" in Part 2 for each hardware type, the comparable product of one of the other manufacturers that complies with requirements.

2.3 MATERIALS AND FABRICATION

- A. Manufacturer's Name Plate: Do not use manufacturers' products that have manufacturer's name or trade name displayed in a visible location (omit removable nameplates) except in conjunction with required fire-rated labels and as otherwise acceptable to Architect.
 - 1. Manufacturer's identification will be permitted on rim of lock cylinders only.
- B. Base Metals: Produce hardware units of basic metal and forming method indicated using manufacturer's standard metal alloy, composition, temper, and hardness, but in no case of lesser (commercially recognized) quality than specified for applicable hardware unit for finish designations indicated.
- C. Fastener: provide hardware manufactured to conform to published templated, generally prepared for machine screw installation. Do not provide hardware that has been prepared for self-tapping sheet metal screws, except as specifically indicated.
- D. Furnish screws for installation with each hardware item. Provide Phillips flat-head screws except as otherwise indicated. Finish exposed (exposed under any condition) screws to match hardware finish or, if exposed in surfaces of other work, to match finish of this other work as closely as possible including "prepared for paint" surfaces to receive painted finish.

2.4 HINGES, BUTTS, AND PIVOTS

- A. Templates: Except for hinges and pivots to be installed entirely (both leaves) into wood doors and frames, provide only template-produced units.
- B. Screws: Provide Phillips flat-head screws complying with the following requirements:
 - 1. For metal doors and frames install machine screws into drilled and tapped holes.
 - 2. For wood doors and frames install wood screws.
 - 3. For fire-rated wood doors install #12 x 1 1/4-inch (32mm), threaded-to-the-head steel wood screws.
 - 4. Finish screw heads to match surface of hinges or pivots
- C. Hinge Pins: Except as otherwise indicated, provide hinge pins as follows:
 - 1. Out-Swing Exterior Doors: Nonremovable pins.
 - 2. Interior Doors: Nonrising pins.
 - 3. Tips: Flat button and matching plug, finished to match leaves, except where hospital tip (HT) indicated.
- D. Number of Hinges: Provide number of hinges indicated but not less than 3 hinges per door leaf for doors 90 inches (2250mm) or less in height and one additional hinge for each 30 inches (750mm) of additional height.
 - 1. Fire-Rated Doors: Not less than 3 hinges per door leaf for doors 86 inches (2150mm) or less in height with same rule for additional hinges.

2.5 LOCK CYLINDERS AND KEYING

- A. Provide cylinders prepped for small format interchangeable cores. Provide plastic temporary cores. Final SFIC cores will be provided by owner.

2.7 LOCKS, LATCHES, AND BOLTS

- A. Strikes: Provide manufacturer's standard wrought box strike for each latch or lock bolt, with curved lip extended to protect frame, finished to match hardware set, unless otherwise indicated.

1. Provide flat lip strikes for locks with 3-piece, antifriction latch bolts as recommended by manufacturer.
2. Provide extra long strike lips for locks used on frames with applied wood casing trim.
3. Provide recess type top strikes for bolts locking into head frames, unless otherwise indicated.

B. Lock Throw: Provide 5/8-inch (16mm) minimum throw of latch on pairs of doors. Comply with UL requirements for throw of bolts and latch bolts on rated fire openings.

1. Provide 1/2-inch (13mm) minimum throw of latch for other bored and preassembled types of locks and 3/4-inch (19mm) minimum throw of latch for mortise locks. Provide 1-inch (25mm) minimum throw for all dead bolts.

C. Flush Bolt Heads: Minimum of 1/2-inch (13mm) diameter rods of brass, bronze, or stainless steel with minimum 12-inch (300mm) long rod for doors up to 84 inches (2100mm) in heights. Provide longer rods as necessary for doors exceeding 84 inches (2100mm) in height.

D. Exit Device Dogging: Except on fire-rated doors where closers are provided on doors equipped with exit devices, equip the unit with keyed dogging device to keep the latch bolt retracted, when engaged.

2.8 PUSH/PULL UNITS

- A. Exposed Fasteners: Provide manufacturer's standard exposed fasteners for installation, thru-bolted for matched pairs but not for single units.
- B. Concealed Fasteners: Provide manufacturer's special concealed fastener system for installation, thru-bolted for matched pairs but not for single units.

2.9 CLOSERS AND DOOR CONTROL DEVICES

- A. Size of Units: Except as otherwise specifically indicated, comply with the manufacturer's recommendations for size of door control unit depending on size of door, exposure to weather, and anticipated frequency of use.
1. Where parallel arms are indicated for closers, provide closer unit one size larger than recommended for use with standard arms.
 2. Provide parallel arms for all overhead closers, except as otherwise indicated.
- B. Access-Free Manual Closers: Where manual closers are indicated for doors required to be accessible to the physically handicapped, provide adjustable units complying with ANSI A117.1 provisions for door opening force and delayed action closing.
- C. Combination Door Closers and Holders: Provide units designed to hold door in open position under normal usage and to release and close door automatically under fire conditions. Incorporate an integral electromagnetic holder mechanism designed for use with UL listed fire detectors, provided with normally closed switching contacts.

2.10 DOOR TRIM UNITS

- A. Fasteners: Provide manufacturer's standard exposed fasteners for door trim units consisting of either machine screws or self-tapping screws.
- B. Fabricate edge trim of stainless steel to fit door thickness in standard lengths or to match height of protection plates.
- C. Fabricate protection plates not more than 2 inches less than door width on the push side by the height indicated.
1. Metal Plates Stainless steel .050 inch (U.S. 16 gage) (1.6mm).

2.15 HARDWARE FINISHES

- A. Match items to the manufacturer's standard color and texture finish for the latch and lock sets (for push-pull units if no latch or lock sets).
- B. Provide quality of finish, including thickness of plating or coating (if any), composition, hardness, and other qualities complying with manufacturer's standards, but in no case less than specified by referenced standards for the applicable units of hardware.
- C. The designations used in schedules and elsewhere to indicate hardware finishes are the industry recognized standard commercial finishes, except as otherwise noted.
 - 1. Rust-Resistant Finish: For iron and steel base metal required for exterior work and in areas shown as "High Humidity" areas (and also when designed with the suffix-RR), provide 0.2ml (0.005mm) thick copper coating on base metal before applying brass, bronze, nickel, or chromium plated finishes.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Mount hardware units at heights indicated in following applicable publication, except as specifically indicated or required to comply with governing regulation and except as otherwise directed by Architect.
 - 1. "Recommended Locations for Builders Hardware for Standard Steel Doors and Frames" by the Door and Hardware Institute.
- B. Install each hardware item in compliance with the manufacturer's instructions and recommendations. Where cutting and fitting is required to install hardware onto or into surfaces that are later to be painted or finished in another way, coordinate removal, storage, and reinstallation or application of surface protection with finishing work specified in the Division 9 Section. Do not install surface mounted items until finishes have been completed on the substrates involved.
- C. Set units level, plumb, and true to line and location. Adjust and reinforce the attachment substrate as necessary for proper installation and operation.
- D. Drill and countersink units that are not factory prepared for anchorage fasteners. Space fasteners and anchors in accordance with industry standards.
- E. Set thresholds for exterior doors in full bed of butyl-rubber or polyisobutylene mastic sealant complying with requirements specified in Division 7 Section "Joint Sealers."
- F. Weatherstripping and Seals: Comply with manufacturer's instructions and recommendations to the extent installation requirements are not otherwise indicated.

3.2 ADJUSTING, CLEANING, AND DEMONSTRATING

- A. Adjust and check each operating item of hardware and each door to ensure proper operation or function of every unit. Replace units that cannot be adjusted to operate freely and smoothly or as intended for the application made.
- B. Clean adjacent surfaces soiled by hardware installation.
- C. Instruct Owner's personnel in proper adjustment and maintenance of door hardware and hardware finishes.

3.3 ELECTRONIC DOOR HARDWARE – Responsibility

- A. Hardware supplier is responsible to provide/install all low voltage wiring for all electronic door hardware provided in this section, including electronic exit devices, power supplies, power transfers, electric strikes, electric locks, automatic door operators, operator actuators, and other electronic door hardware specified and provided as part of this specification section. Hardware supplier is also required to install automatic door operators and actuators with factory trained installers and return at completion of project to make final adjustments and instruct owner in use/adjustment of equipment.
- B. Installers are required to be factory trained/certified by manufacturers of electronic door hardware.
- C. Electrical Contractor is responsible to Provide and Install 120V power to all power supplies, automatic operator headers, and other locations required, noted herein, and/or shown on the electrical drawings. Electrical Contractor is also responsible to provide and install all conduit and/or wire chases for low voltage wiring and all required electrical boxes and junction boxes.
- D. Hardware Supplier is to meet with Electrical Contractor early during the construction period to instruct E.C. in requirements for power and for low voltage conduit/chases. Hardware supplier and E.C. are to communicate continually during construction as necessary to coordinate power with low voltage (hardware) requirements.
- E. Access Control System and all materials provided by the security contractor (including, but not limited to Card Readers, Electro-magnetic locks, Electric strikes, etc) are to be installed and wired by that contractor.

3.4 HARDWARE SCHEDULE

- A. General: Provide hardware for each door to comply with requirements of Section “Door Hardware,” hardware set numbers indicated in door schedule, and in the following schedule of hardware sets.

Hardware Sets

Set #001

Doors: C118A

NOTE: Door, Frame, and Hardware to remain. No additional work required.

Set #002

Doors: C115A, C115B

3 Hinges	5BB1 4 1/2 x 4 1/2	630	IV
1 Mortise Deadbolt	L463BDC 10-078	626	SC
1 Flush Pull	90	US32D	RO
1 Closer	4040XP RWPA TBWMS	AL	LC

NOTE: Adjust to swing 180 deg.

1 Door Stop	WS445	US26D	IV
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NOTE: mount near top of door.

NOTE: Reuse balance of existing hardware.

Set #003

Doors: C117A

6 Hinges	5BB1 4 1/2 x 4 1/2	630	IV
1 Steel Mullion	KR4954 7'6"	SP28	VO
1 Exit Device	SD-QEL 99NL x 990NL-R&V	US26D	VO
1 Exit Device	CD 99DT x 990DT	US26D	VO
1 Rim Cylinder Housing	12E-72 L/C	626	BE
3 Mortise Cylinder	1E-74 L/C	626	BE
2 Door Stop	WS445	US26D	IV
NOTE: mount near top of door.			
1 Electric Power Transfer	EPT 10	SP28	VO
1 Power Supply	PS902 900-2RS		VO

NOTE: Reuse existing door closers. Card Reader by others.

Set #004

Doors: C117B

1 Exit Device	SD-QEL 99NL x 990NL-R&V	US26D	VO
1 Rim Cylinder Housing	12E-72 L/C	626	BE
1 Mortise Cylinder	1E-74 L/C	626	BE
1 Closer	4040XP REGARM	AL	LC
1 Door Stop	WS445	US26D	IV
NOTE: mount near top of door.			
1 Electric Power Transfer	EPT 10	SP28	VO
1 Power Supply	PS902 900-2RS		VO

NOTE: Reuse existing hinges, Card Reader by Others.

Set #005

Doors: C117C

3 Hinges	5BB1 4 1/2 x 4 1/2	630	IV
1 Exit Device	CD 99DT x 990DT	US26D	VO
1 Mortise Cylinder	1E-74 L/C	626	BE
1 Door Stop	WS445	US26D	IV

NOTE: Reuse existing closer

Set #006

Doors: C119A

1 Continuous Hinge	112HD 83"	628	IV
1 Mortise Storeroom Lockset	L9080BDC 06A	626	SC
1 Closer	4040XP RW62A	AL	LC
1 Overhead Stop	904S	US32D	GL
1 Drip Cap	16 A 40"		NA
1 Gasketing	160 V 1 x 36" 2 x 86"		NA
1 Door Sweep	D698 A 36"		NA
1 Threshold	896 V 36"	AL	NA

Set #007

Doors: C120A

2 Continuous Hinge	112HD 83"	628	IV
1 Exit Device	CD 9947NL x 990NL-R&V	US26D	VO
1 Exit Device	CD 9947DT x 990DT	US26D	VO
1 Rim Cylinder Housing	12E-72 L/C	626	BE
2 Mortise Cylinder	1E-74 L/C	626	BE
2 Closer	4040XP RW62A	AL	LC
2 Overhead Stop	904S	US32D	GL
1 Gasketing	160 V 1 x 72" 2 x 86"		NA
1 Drip Cap	16 A 76"		NA
2 Door Sweep	D698 A 36"		NA
1 Threshold	896 V 72"	AL	NA

Set #008

Doors: C120B

6 Hinges	5BB1 4 1/2 x 4 1/2	630	IV
1 Flush Bolt	FB458 12"	US26D	IV
1 Mortise Storeroom Lockset	L9466BDC 06L	630	SC
2 Dome Stop	FS436	US26D	IV

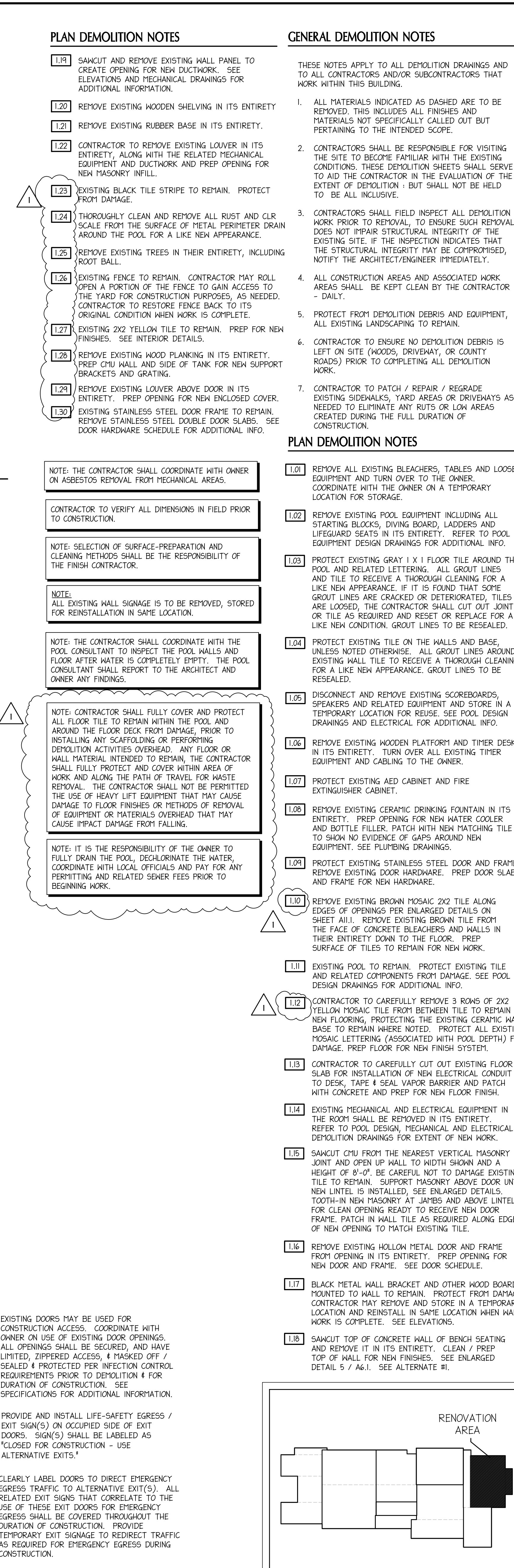
Set #009

Doors: C121B

6 Hinges	5BB1 HW 5 x 4 1/2	630	IV
2 Flush Bolt	FB458 12"	US26D	IV
1 Mortise Storeroom Lockset	L9080BDC 06L	630	SC
2 Door Stop	WS445	US26D	IV

Opening List

Opening	Hdw Set	Opening Label	Door Type	Frame Type
C115A	002			
C115B	002			
C117A	003			
C117B	004			
C117C	005			
C118A	001			
C119A	006			
C120A	007			
C120B	008			
C121B	009			



one and one half inches = one foot

one inch = one foot

three quarters inch = one foot

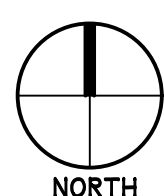
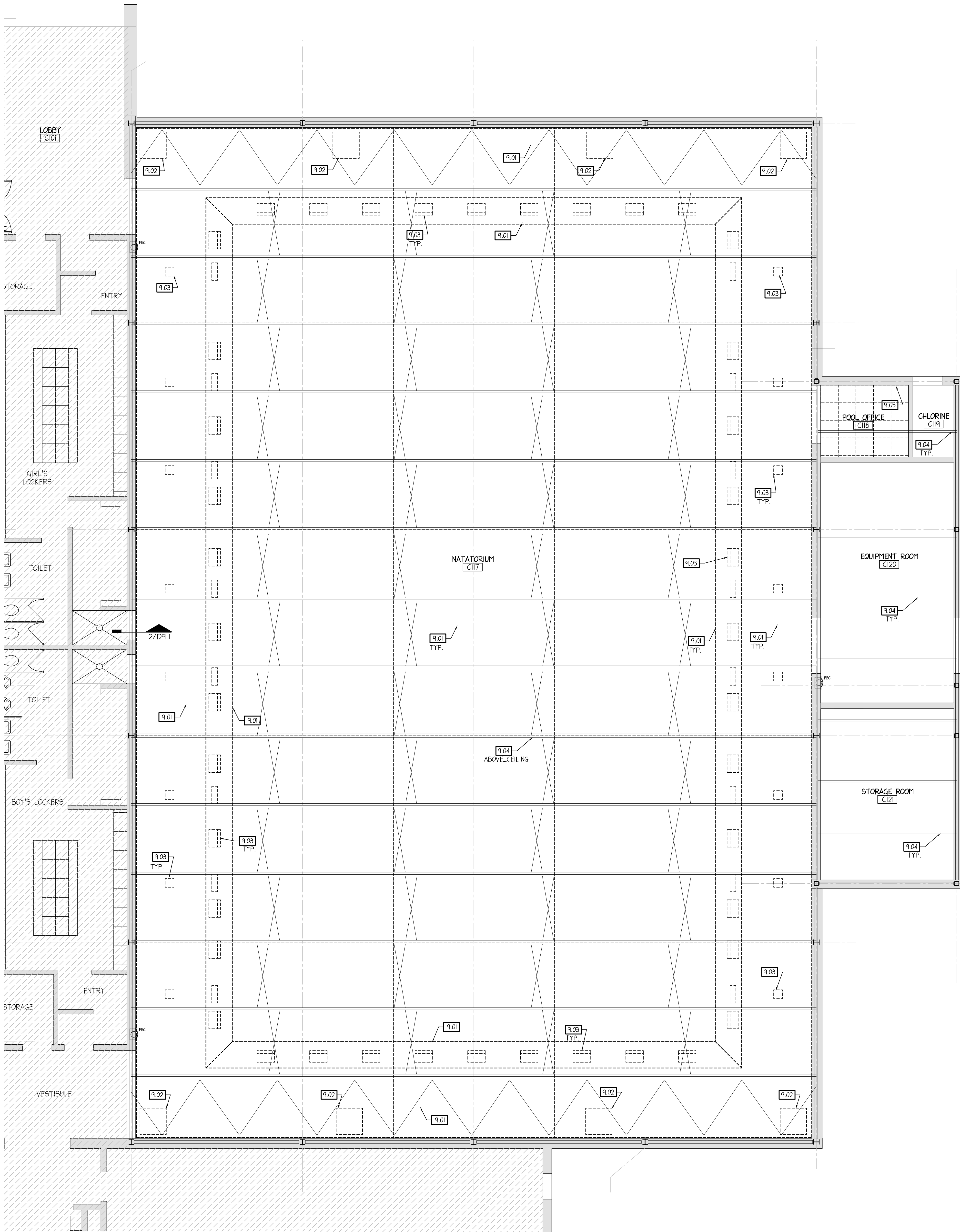
one half inch = one foot

three eighths inch = one foot

one quarter inch = one foot

one eighth inch = one foot

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1

FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN

SCALE: 3/16" = 1'-0"

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.

NOTE: SELECTION OF SURFACE-PREPARATION AND CLEANING METHODS SHALL BE THE RESPONSIBILITY OF THE PAINTING CONTRACTOR PER SPECIFICATION 04010.

EXISTING ROOF WARRANTY IS MAINTAINED BY "MORRIS AND SONS" ROOFING, P. 574-342-3096. ALL ROOF WORK MUST BE COORDINATED WITH THE WARRANTIES. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

NOTE: FULLY DRAIN THE POOL PRIOR TO BEGINNING WORK. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH LOCAL OFFICIALS ON REQUIREMENTS FOR DECOLORIZATION, FERTILIZING AND PAYING FOR ANY SEWER CHARGES AND RELATED FEES.

NOTE: CONTRACTOR SHALL FULLY COVER AND PROTECT ALL FLOOR TILE WITHIN THE POOL AND AROUND THE FLOOR DECK FROM DAMAGE PRIOR TO INSTALLING ANY SCAFFOLDING OR PERFORMING DEMOLITION ACTIVITIES OVERHEAD. ANY FLOOR OR WALL MATERIAL INTENDED TO REMAIN, THE CONTRACTOR SHALL PROTECT WITHIN AREA OF WORK AND ALONG THE PATH OF TRAVEL FOR WASTE REMOVAL.

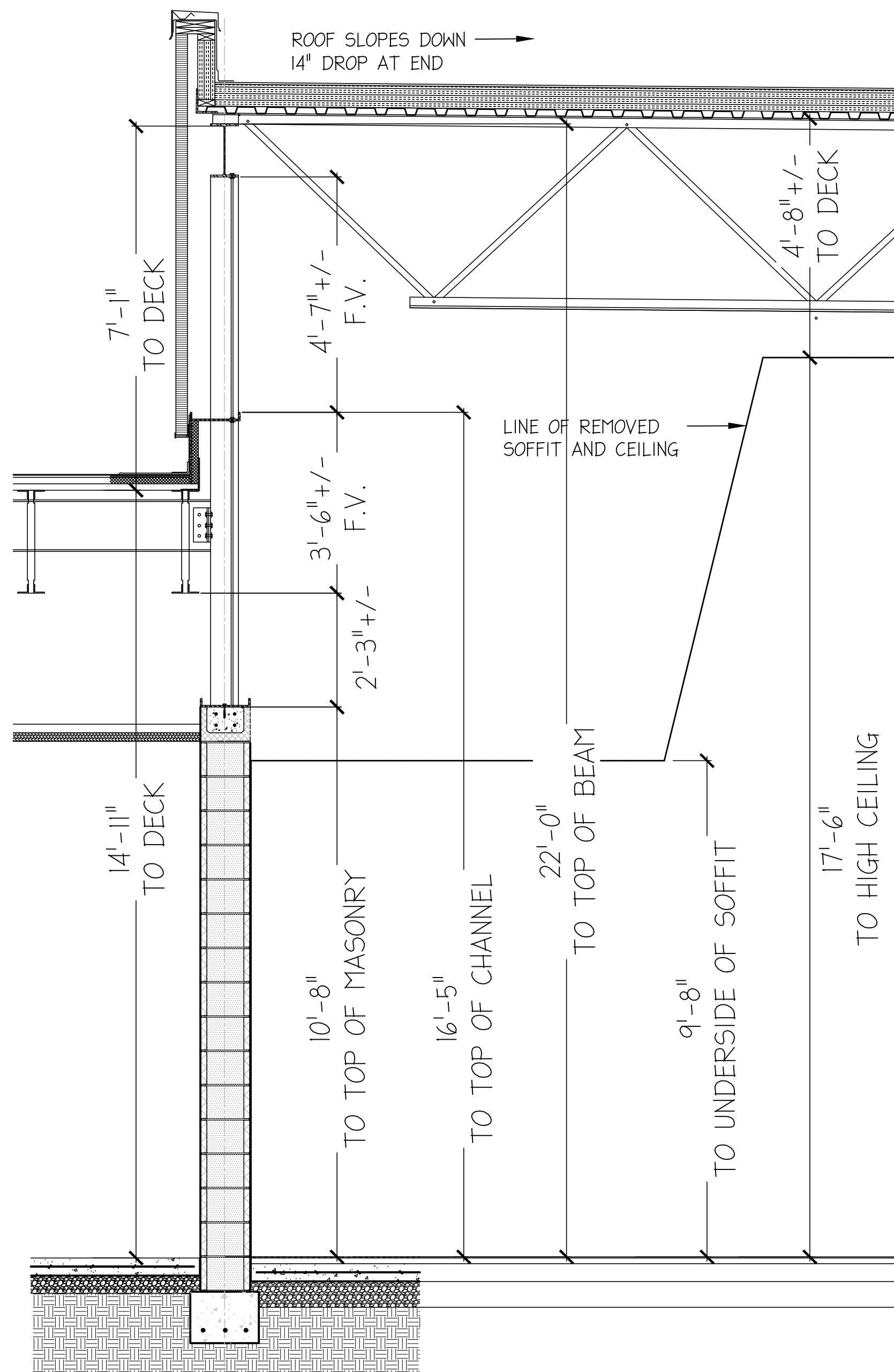
GENERAL DEMOLITION NOTES

THESE NOTES APPLY TO ALL DEMOLITION DRAWINGS AND TO ALL CONTRACTORS AND/OR SUBCONTRACTORS THAT WORK WITHIN THIS BUILDING.

- ALL MATERIALS INDICATED AS DASHED ARE TO BE REMOVED. THIS INCLUDES ALL FINISHES AND MATERIALS NOT SPECIFICALLY CALLED OUT BUT PERTAINING TO THE INTENDED SCOPE.
- CONTRACTORS SHALL BE RESPONSIBLE FOR VISITING THE SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS. THESE DEMOLITION SHEETS SHALL SERVE TO AID THE CONTRACTOR IN THE EVALUATION OF THE EXTENT OF DEMOLITION, BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE.
- CONTRACTORS SHALL FIELD INSPECT ALL DEMOLITION WORK PRIOR TO REMOVAL, TO ENSURE SUCH REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF THE EXISTING SITE. IF THE INSPECTION INDICATES THAT THE STRUCTURAL INTEGRITY MAY BE COMPROMISED, NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY.
- ALL CONSTRUCTION AREAS AND ASSOCIATED WORK AREAS SHALL BE KEPT CLEAN BY THE CONTRACTOR - DAILY.
- PROTECT FROM DEMOLITION DEBRIS AND EQUIPMENT, ALL EXISTING TREES.
- CONTRACTOR TO ENSURE NO DEMOLITION DEBRIS IS LEFT ON SITE (WOODS, DRIVEWAY, OR COUNTY ROADS) PRIOR TO COMPLETING ALL DEMOLITION WORK.
- CONTRACTOR TO PATCH / REPAIR / REGRADE EXISTING DRIVEWAY AS NEEDED TO ELIMINATE ANY RUTS OR LOW AREAS CREATED DURING DEMOLITION PROCESS.

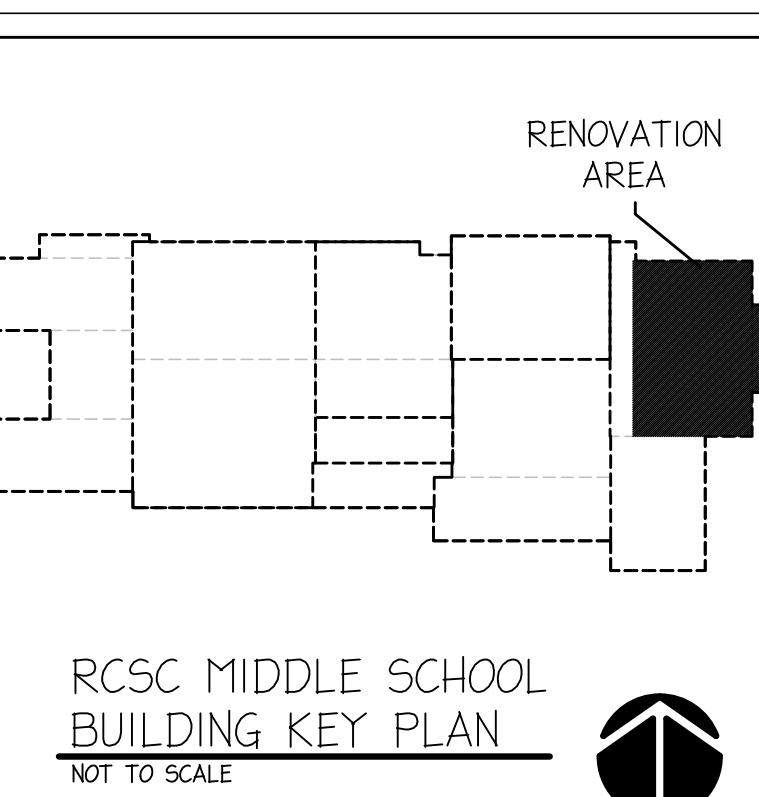
PLAN DEMOLITION NOTES

- 9.01 CONTRACTOR TO REMOVE EXISTING CHICKEN WIRE, SUPPORT STEEL AND PLASTER SUSPENDED CEILING, BULKHEAD AND SOFFIT SYSTEM IN ITS ENTIRETY, INCLUDING ALL ACOUSTICAL PANELS.
- 9.02 CONTRACTOR TO REMOVE ALL EXISTING AIR SUPPLY GRILLES AND RETURN GRILLES IN THEIR ENTIRETY. CONTRACTOR TO REMOVE DUCTWORK. SEE MECHANICAL DEMO DRAWINGS FOR ADDITIONAL INFORMATION.
- 9.03 CONTRACTOR TO REMOVE EXISTING SPEAKERS, LIGHTS AND RELATED CONDUIT IN THEIR ENTIRETY. SEE ELECTRICAL DEMO DRAWINGS FOR ADDITIONAL INFORMATION.
- 9.04 CONTRACTOR TO CLEAN ALL EXPOSED EXISTING STEEL ROOF FRAMING AND METAL DECKING WITHIN THE ROOF, AFTER REMOVAL OF EXISTING BULKHEAD AND CEILING SURFACES. PREP FOR NEW FINISHES.
- 9.05 CONTRACTOR TO REMOVE EXISTING CEILING AND GRID IN ITS ENTIRETY, INCLUDING ALL RELATED LIGHT FIXTURES AND MECHANICAL DIFFUSERS AND GRILLES. SEE ELECTRICAL AND MECHANICAL DWGS FOR ADDITIONAL INFO.



2 EXISTING SECTION

SCALE: 1/2" = 1'-0"



RCSC MIDDLE SCHOOL
BUILDING KEY PLAN
NOT TO SCALE



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CERTIFICATION



Terry W. Thornhill

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RCSC 2023 BOND PROJECTS

Rochester Middle School
650 ZEBRA LN, ROCHESTER, INDIANA 46975

NATATORIUM HVAC & LIGHTING UPGRADE



REVISION	DATE	INITIAL
1 ADDENDUM 01	5-20-2024	NRF

DATE	PROJECT
05/01/2024	2023.0011

TITLE
Reflected Ceiling / Roof Demolition Plan
SHEET

D9.1

one and one half inches = one foot

one inch = one foot

three quarters inch = one foot

one half inch = one foot

three eighths inch = one foot

one quarter inch = one foot

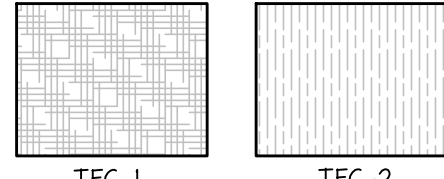
one eighth inch = one foot

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NOT ALL KEYNOTES ARE USED ON EVERY SHEET.

INTERIOR ELEVATION CONSTRUCTION NOTES

- 5.33 METAL FRAMED BULKHEAD AND SOFFIT W/ 1 LAYER OF MR GYP BOARD. PAINTED PT-2 AT THE VERTICAL FACE OF THE WALL AND PT-4 AT THE HORIZONTAL SOFFIT. SEE CEILING DETAILS.
- 5.34 MECHANICAL DUCT SUPPLY AND RETURN. SEE MECH. DWGS AND ENLARGED DETAILS.
- 5.35 SOLID SURFACE TIMER'S DESK. SEE SHEET A0.1
- 5.36 SCHOOL LOGO CUSTOM SIGN. COORDINATE W/ OWNER
- 5.37 NEW STAINLESS STEEL DOOR & FRAME. SEE DOOR SCHEDULE. PATCH TILE AROUND DOOR TO MATCH EXG.
- 5.38 HOOD BOARDS TO BE MOUNTED IN SAME LOCATION AS ORIGINAL. COORDINATE WITH OWNER.



TECTUM FINISHES

SCALE: NT5

INTERIOR ELEVATION CONSTRUCTION NOTES

- 5.22 EXISTING ROOM NUMBER SIGN TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.23 EXISTING ALUMINUM WALL JOINT COVER TO REMAIN. PROTECT FROM DAMAGE.
- 5.24 NEW SOUND SYSTEM SPEAKER MOUNTED TO THE FACE OF WALL. SEE ELEC. DWGS.
- 5.25 EXISTING RESTROOM SIGNS TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.26 MECHANICAL WALL LOUVER. SEE MECH. DWGS.
- 5.27 EXISTING BULLETIN BOARD TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.28 EXISTING AMERICAN FLAG TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.29 NEW DRINKING FOUNTAIN AND BOTTLE FILLER. SEE PLUMB DWGS.
- 5.30 TECTUM WALL PANEL. SEE SECTION DETAILS ON SHEET A6.1 AND FINISH SCHEDULE.
- 5.31 LOW-VOLTAGE CABLE, PAINT EXPOSED LINE TO MATCH WALL TILE.
- 5.32 CERAMIC MOSAIC TILE (CT-3) WITH 4" BASE (CB-1) OVER FURRED OUT CHASE WALL, EXTEND FROM FLOOR UP TO UNDERSIDE OF SOFFIT.

INTERIOR ELEVATION CONSTRUCTION NOTES

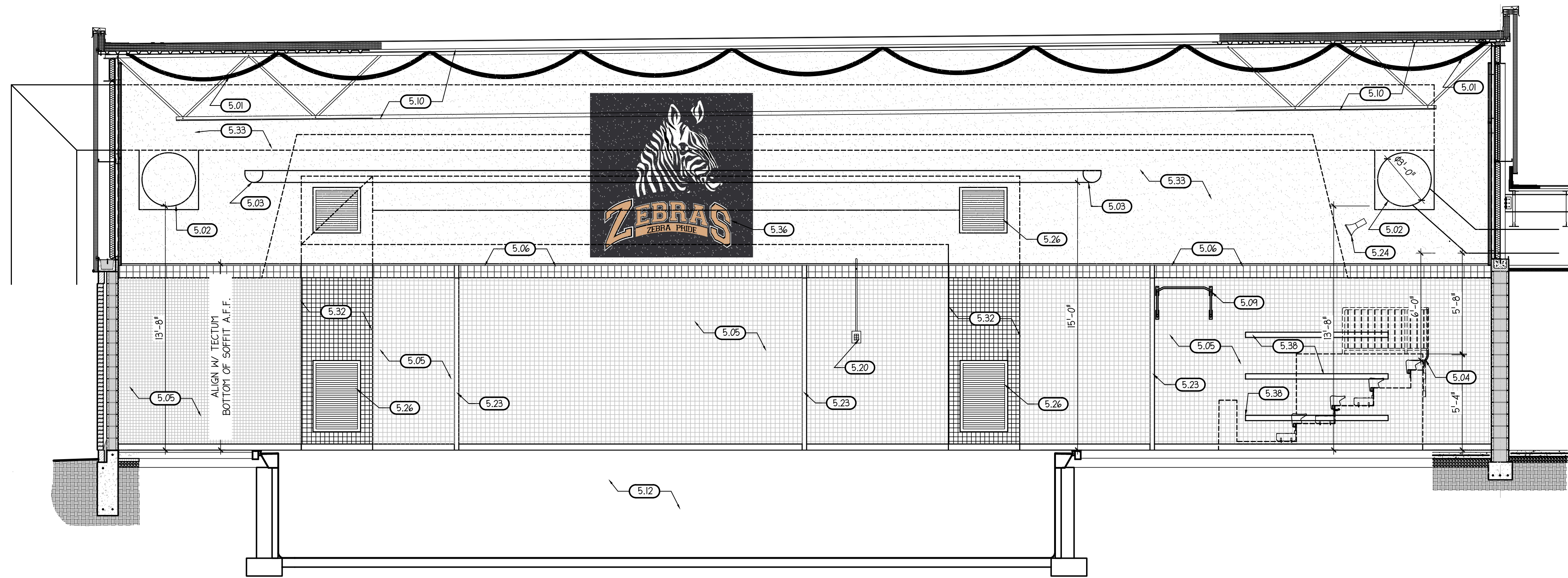
- 5.12 EXISTING POOL TO REMAIN. PROTECT FROM DAMAGE.
- 5.13 EXISTING SCOREBOARDS, CONNECTED TO TIMER'S DESK CONTROLLER. SEE ELEC. DWGS. AND POOL DESIGN PLAN FOR ADDITIONAL INFO. BOTTOM ELEVATION OF TALLER UNIT MOUNTED AT 9'-10" A.F.F. INCLUDE ANY/ALL BRACKETS AND UNISTRUT USED FOR MOUNTING EQUIPMENT, AND INSTALL AS REQUIRED.
- 5.14 EXISTING TEAM RECORD BOARD TO BE MOUNTED TO WALL. COORDINATE WITH OWNER.
- 5.15 EXISTING POOL RULES SIGN TO BE MOUNTED TO THE WALL. COORDINATE WITH OWNER.
- 5.16 EXISTING WHITE BOARD TO BE MOUNTED TO THE WALL. COORDINATE WITH OWNER.
- 5.17 EXISTING STORM SHELTER SIGN AND FIRE EXIT SIGN TO BE MOUNTED TO THE WALL. COORDINATE WITH OWNER.
- 5.18 EXISTING BACK BOARDS ON HOOKS TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.19 EXISTING CAUTION SIGN TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.20 EXISTING FIRE STROBE TO REMAIN. PROTECT FROM DAMAGE. SEE ELEC. DWGS.
- 5.21 EXISTING FIRE ALARM PULL TO REMAIN. PROTECT FROM DAMAGE. SEE ELEC. DWGS.

INTERIOR ELEVATION CONSTRUCTION NOTES

- 5.01 ACOUSTIC WAVE BAFFLES (AB-1). SEE REFL. CLG. PLAN AND DETAILS FOR ADDITIONAL INFO.
- 5.02 PERIMETER DUCT SOCK, BOTTOM ELEVATION AT 13'-8" A.F.F. SEE MECH DWGS FOR ADDITIONAL INFO.
- 5.03 LIGHTING FIXTURES SUSPENDED FROM BAR JOISTS. SEE ELEC. DWGS FOR ADDITIONAL INFO.
- 5.04 CONCRETE RISER, SEATING AND RAILING. REFER TO ENLARGED DETAILS AND ELEVATIONS.
- 5.05 EXISTING WALL TILE TO REMAIN. PROTECT FROM DAMAGE.
- 5.06 TWO ROWS OF 4"x4" CERAMIC TILE ABOVE EXISTING WALL TILE (CT-2). SEE SECTION DETAIL ON SHEET A6.1 AND FINISH SCHEDULE.
- 5.07 EXISTING FIRE EXTINGUISHER CABINETS. PROTECT FROM DAMAGE.
- 5.08 EXISTING AED CABINET. PROTECT FROM DAMAGE.
- 5.09 STEEL FRAME FOR POOL EQUIPMENT MOUNTED TO WALL.
- 5.10 EXISTING STEEL BAR JOISTS, BEAMS AND BOTTOM OF ROOF DECK TO BE PAINTED (PT-4). SEE REFL. CLG. PLANS.
- 5.11 ELECTRICAL CONDUITS W/ 20ga STAINLESS STEEL SURROUND, FROM FLOOR TO UNDERSIDE OF BULKHEAD. SEE SHEET A0.1 FOR ADDITIONAL INFO.

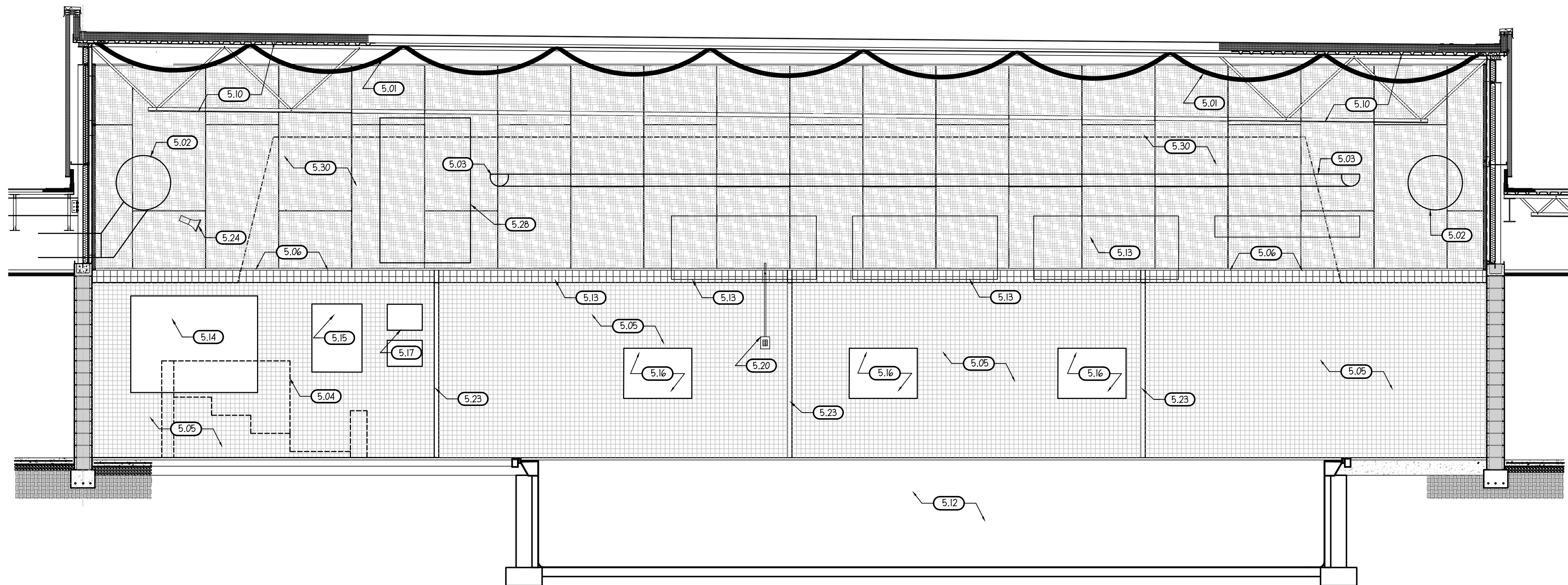
GENERAL CONSTRUCTION NOTES

- DIMENSIONS ARE TO CORNER OF WALL UNLESS NOTED OTHERWISE.
- FRAMING CONTRACTOR TO COORDINATE LIGHT FIXTURE LOCATIONS AND WIRING WITH ELECTRICAL CONTRACTOR.
- CONCRETE CONTRACTOR TO COORDINATE FINISH FLOOR HEIGHT WITH CIVIL / EXCAVATION CONTRACTOR.
- ALL CONTRACTORS ARE RESPONSIBLE FOR CLEANING SITE TO THE BEST OF THEIR ABILITIES AT THE END OF EACH WORK DAY.
- ALL CONTRACTORS TO VERIFY STAGING AND STORAGE LOCATIONS OF ALL MATERIALS AND EQUIPMENT WITH OWNER PRIOR TO BEGINNING OF CONSTRUCTION.
- ALL CONTRACTORS RESPONSIBLE FOR ANY DAMAGES CAUSED BY THEM DURING THE CONSTRUCTION PROCESS. IN THE EVENT OF ANY DAMAGES CONTRACTOR IS TO CONTACT THE OWNER IMMEDIATELY PRIOR TO THE END OF THE DAY OF CONSTRUCTION.



2 BUILDING SECTION AND ELEVATION

SCALE: 1/4" = 1'-0"



1 BUILDING SECTION AND ELEVATION

SCALE: 1/4" = 1'-0"



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CERTIFICATION



John W. Shroy

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RCSC 2023 BOND PROJECTS

Rochester Middle School
650 ZEBRA LN, ROCHESTER, INDIANA 46975

NATATORIUM HVAC & LIGHTING UPGRADE



REVISION DATE INITIAL

1 ADDENDUM 01 5-20-2024 NRF

DATE PROJECT

05/01/2024 2023.0011

TITLE
Building
Sections and
Elevations
SHEET

A5.1

one and one half inches = one foot

one inch = one foot

three quarters inch = one foot

one half inch = one foot

three eighths inch = one foot

one quarter inch = one foot

one eighth inch = one foot

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NOT ALL KEYNOTES ARE USED ON EVERY SHEET.

INTERIOR ELEVATION CONSTRUCTION NOTES

- 5.33 METAL FRAMED BULKHEAD AND SOFFIT W/ 1 LAYER OF MR GYP BOARD. PAINTED PT-2 AT THE VERTICAL FACE OF THE WALL AND PT-4 AT THE HORIZONTAL SOFFIT. SEE CEILING DETAILS.
- 5.34 MECHANICAL DUCT SUPPLY AND RETURN. SEE MECH. DWGS AND ENLARGED DETAILS.
- 5.35 SOLID SURFACE TIMER'S DESK. SEE SHEET A10.1
- 5.36 SCHOOL LOGO CUSTOM SIGN. COORDINATE W/ OWNER.
- 5.37 NEW STAINLESS STEEL DOOR & FRAME. SEE DOOR SCHEDULE. PATCH TILE AROUND DOOR TO MATCH EXG.
- 5.38 WOOD BOARDS TO BE MOUNTED IN SAME LOCATION AS ORIGINAL. COORDINATE WITH OWNER.

INTERIOR ELEVATION CONSTRUCTION NOTES

- 5.22 EXISTING ROOM NUMBER SIGN TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.23 EXISTING ALUMINUM WALL JOINT COVER TO REMAIN. PROTECT FROM DAMAGE.
- 5.24 NEW SOUND SYSTEM SPEAKER MOUNTED TO THE FACE OF WALL. SEE ELEC. DWGS.
- 5.25 EXISTING RESTROOM SIGNS TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.26 MECHANICAL WALL LOUVER. SEE MECH. DWGS.
- 5.27 EXISTING BULLETIN BOARD TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.28 EXISTING AMERICAN FLAG TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.29 NEW DRINKING FOUNTAIN AND BOTTLE FILLER. SEE PLUMB DWGS.
- 5.30 TECTUM WALL PANEL. SEE SECTION DETAILS ON SHEET A6.1 AND FINISH SCHEDULE.
- 5.31 LOW-VOLTAGE CABLE, PAINT EXPOSED LINE TO MATCH WALL TILE.
- 5.32 CERAMIC MOSAIC TILE (CT-3) WITH 4" BASE (CB-1) OVER FURRED OUT CHASE WALL, EXTEND FROM FLOOR UP TO UNDERSIDE OF SOFFIT.

INTERIOR ELEVATION CONSTRUCTION NOTES

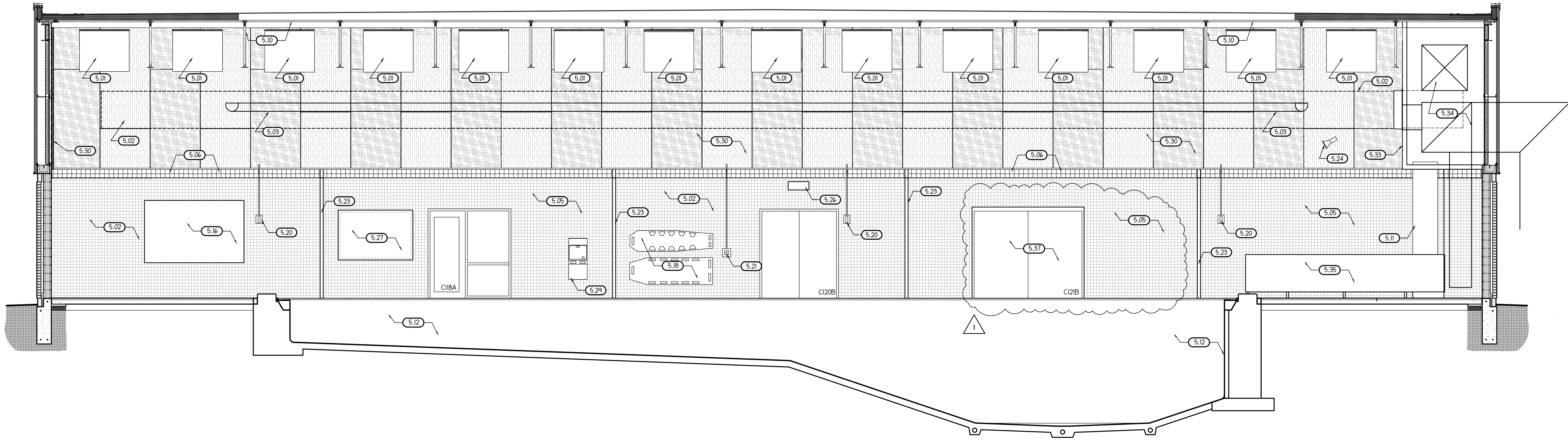
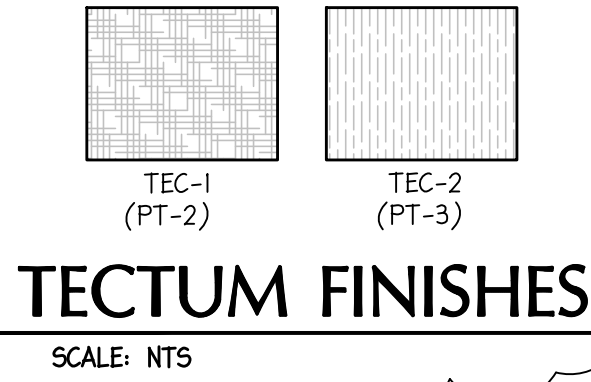
- 5.12 EXISTING POOL TO REMAIN. PROTECT FROM DAMAGE.
- 5.13 EXISTING SCOREBOARDS, CONNECTED TO TIMER'S DESK CONTROLLER. SEE ELEC. DWGS. AND POOL DESIGN PLAN FOR ADDITIONAL INFO. BOTTOM ELEVATION OF TALLER UNIT MOUNTED AT 9'-10" A.F.F. INCLUDE ANY/ALL UBRACKETS AND UNISTRUT USED FOR MOUNTING EQUIPMENT, AND INSTALL AS REQUIRED.
- 5.14 EXISTING TEAM RECORD BOARD TO BE MOUNTED TO WALL. COORDINATE WITH OWNER.
- 5.15 EXISTING POOL RULES SIGN TO BE MOUNTED TO THE WALL. COORDINATE WITH OWNER.
- 5.16 EXISTING WHITE BOARD TO BE MOUNTED TO THE WALL. COORDINATE WITH OWNER.
- 5.17 EXISTING STORM SHELTER SIGN AND FIRE EXIT SIGN TO BE MOUNTED TO THE WALL. COORDINATE WITH OWNER.
- 5.18 EXISTING BACK BOARDS ON HOOKS TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.19 EXISTING CAUTION SIGN TO BE WALL MOUNTED. COORDINATE WITH OWNER.
- 5.20 EXISTING FIRE STROBE TO REMAIN. PROTECT FROM DAMAGE. SEE ELEC. DWGS.
- 5.21 EXISTING FIRE ALARM PULL TO REMAIN. PROTECT FROM DAMAGE. SEE ELEC. DWGS.

INTERIOR ELEVATION CONSTRUCTION NOTES

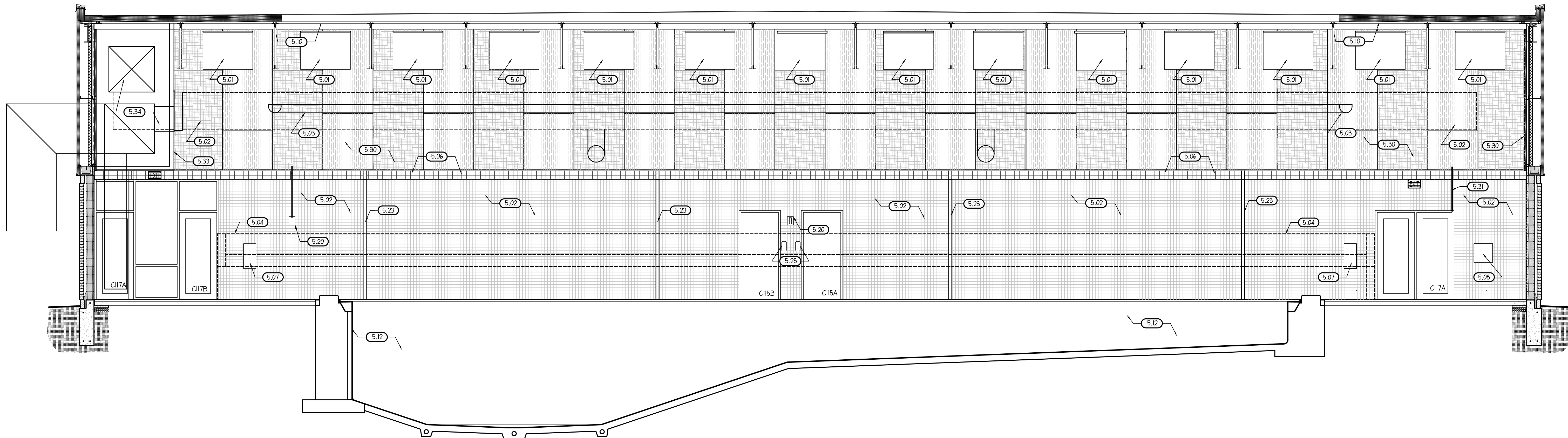
- 5.01 ACOUSTIC WAVE BAFFLES (AB-1). SEE REFL. CLG. PLAN AND DETAILS FOR ADDITIONAL INFO.
- 5.02 PERIMETER DUCT SOCK, BOTTOM ELEVATION AT 13'-8" A.F.F. SEE MECH DWGS FOR ADDITIONAL INFO.
- 5.03 LIGHTING FIXTURES SUSPENDED FROM BAR JOISTS. SEE ELEC. DWGS FOR ADDITIONAL INFO.
- 5.04 CONCRETE RISER, SEATING AND RAILING. REFER TO ENLARGED DETAILS AND ELEVATIONS.
- 5.05 EXISTING WALL TILE TO REMAIN. PROTECT FROM DAMAGE.
- 5.06 TWO ROWS OF 4"x4" CERAMIC TILE ABOVE EXISTING WALL TILE (CT-2). SEE SECTION DETAIL ON SHEET A6.1 AND FINISH SCHEDULE.
- 5.07 EXISTING FIRE EXTINGUISHER CABINETS. PROTECT FROM DAMAGE.
- 5.08 EXISTING AED CABINET. PROTECT FROM DAMAGE.
- 5.09 STEEL FRAME FOR POOL EQUIPMENT MOUNTED TO WALL.
- 5.10 EXISTING STEEL BAR JOISTS, BEAMS AND BOTTOM OF ROOF DECK TO BE PAINTED (PT-4). SEE REFL. CLG. PLANS.
- 5.11 ELECTRICAL CONDUITS W/ 20ga STAINLESS STEEL SURROUND, FROM FLOOR TO UNDERSIDE OF BULKHEAD. SEE SHEET A10.1 FOR ADDITIONAL INFO.

GENERAL CONSTRUCTION NOTES

- DIMENSIONS ARE TO CORNER OF WALL UNLESS NOTED OTHERWISE.
- FRAMING CONTRACTOR TO COORDINATE LIGHT FIXTURE LOCATIONS AND WIRING WITH ELECTRICAL CONTRACTOR.
- CONCRETE CONTRACTOR TO COORDINATE FINISH FLOOR HEIGHT WITH CIVIL / EXCAVATION CONTRACTOR.
- ALL CONTRACTORS ARE RESPONSIBLE FOR CLEANING SITE TO THE BEST OF THEIR ABILITIES AT THE END OF EACH WORK DAY.
- ALL CONTRACTORS TO VERIFY STAGING AND STORAGE LOCATIONS OF ALL MATERIALS AND EQUIPMENT WITH OWNER PRIOR TO BEGINNING OF CONSTRUCTION.
- ALL CONTRACTORS RESPONSIBLE FOR ANY DAMAGES CAUSED BY THEM DURING THE CONSTRUCTION PROCESS. IN THE EVENT OF ANY DAMAGES CONTRACTOR IS TO CONTACT THE OWNER IMMEDIATELY PRIOR TO THE END OF THE DAY OF CONSTRUCTION.



2 BUILDING SECTIONS AND ELEVATIONS
SCALE: 1/4" = 1'-0"



1 BUILDING SECTIONS AND ELEVATIONS
SCALE: 1/4" = 1'-0"



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RCSC 2023 BOND PROJECTS

Rochester Middle School
650 ZEBRA LN, ROCHESTER, INDIANA 46975

NATATORIUM HVAC & LIGHTING UPGRADE



REVISION DATE INITIAL

1 ADDENDUM 01 5-20-2024 NRF

DATE PROJECT

05/01/2024 2023.0011

TITLE
Building
Sections and
Elevations
SHEET

A5.2

one and one half inches = one foot

one inch = one foot

three quarters inch = one foot

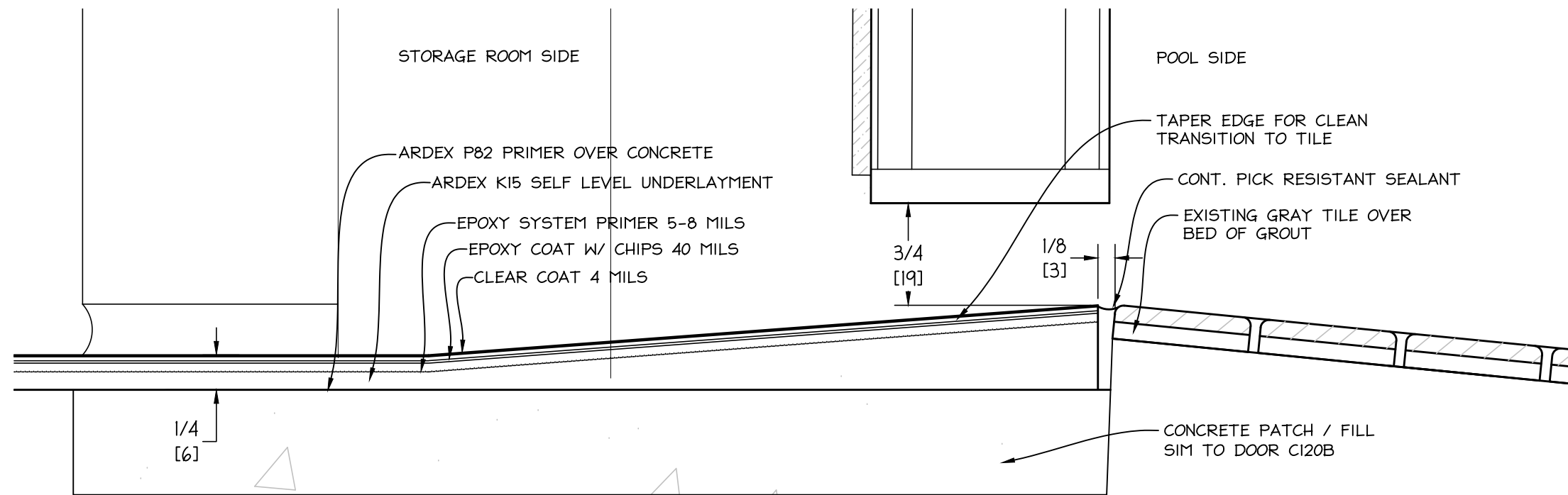
one half inch = one foot

three eighths inch = one foot

one quarter inch = one foot

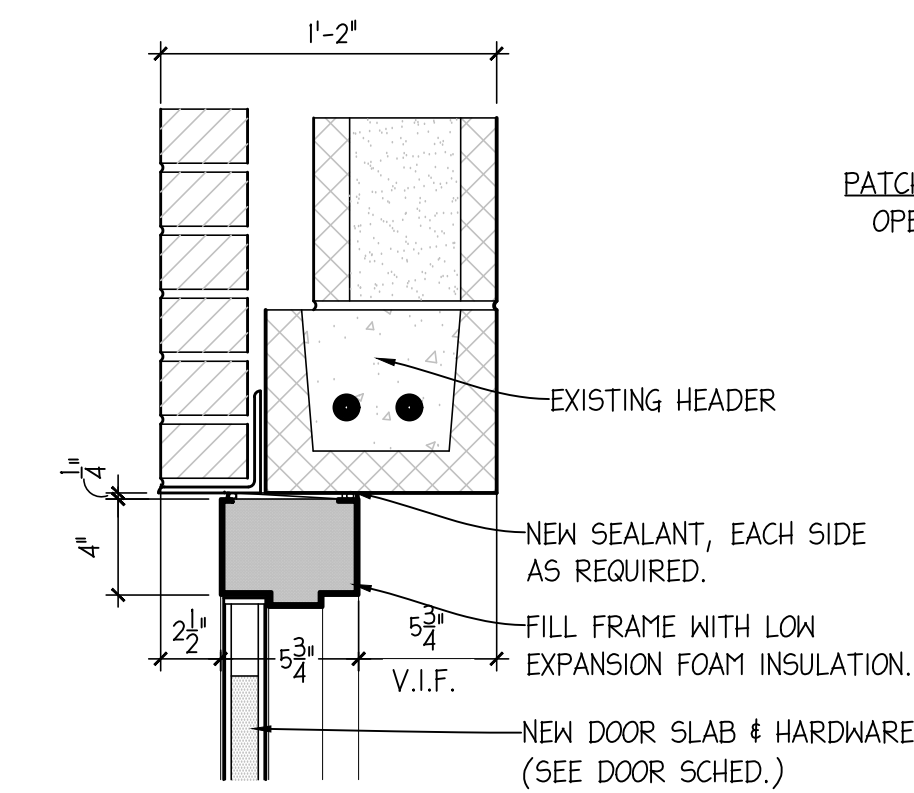
one eighth inch = one foot

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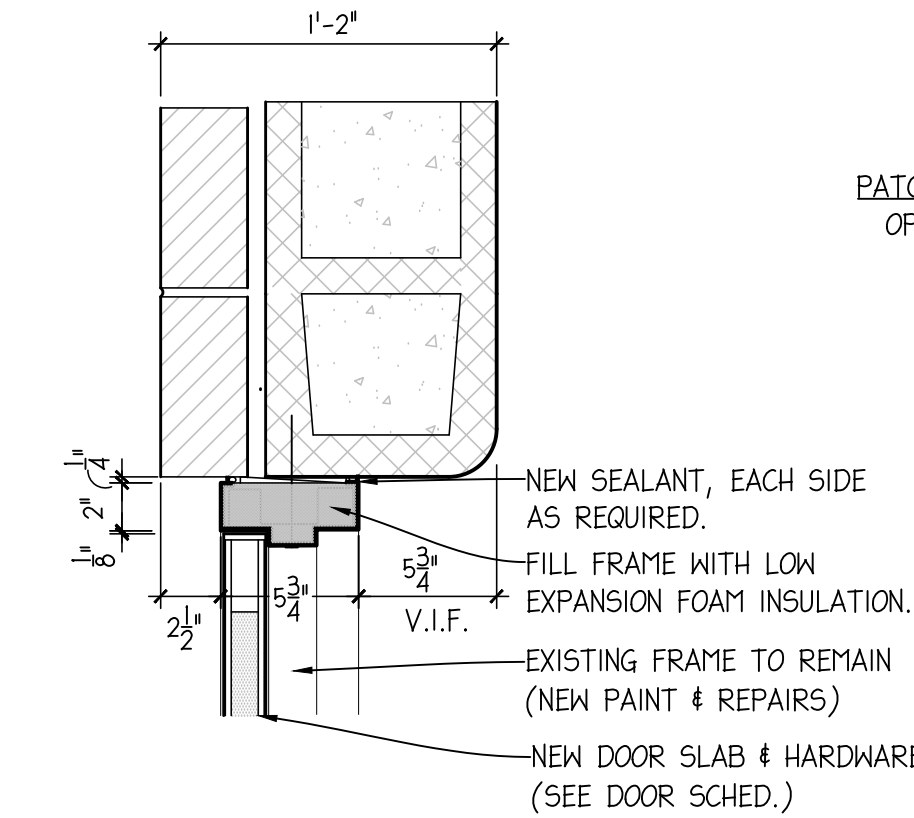
7 FLOOR TRANSITION

SCALE: NTS



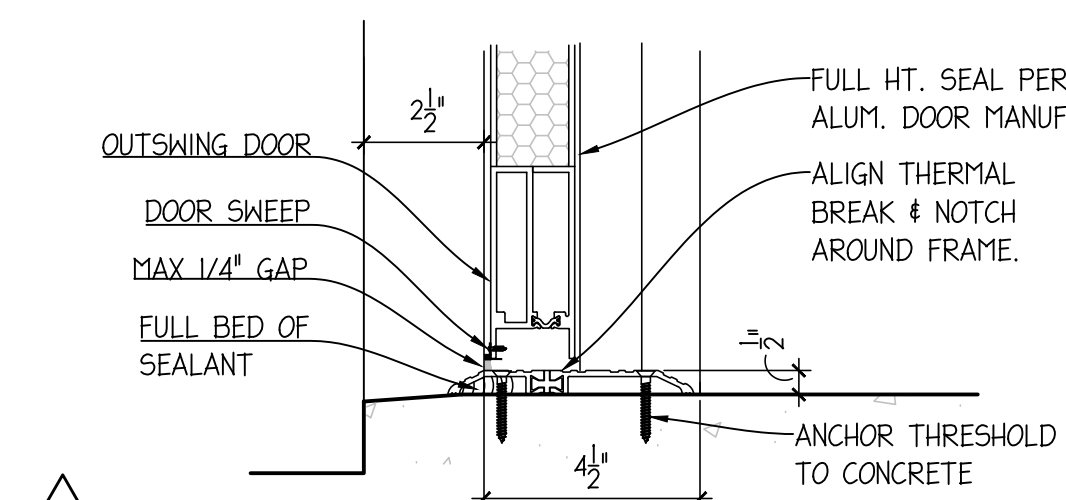
6 HEAD

SCALE: 1-1/2" = 1'-0"



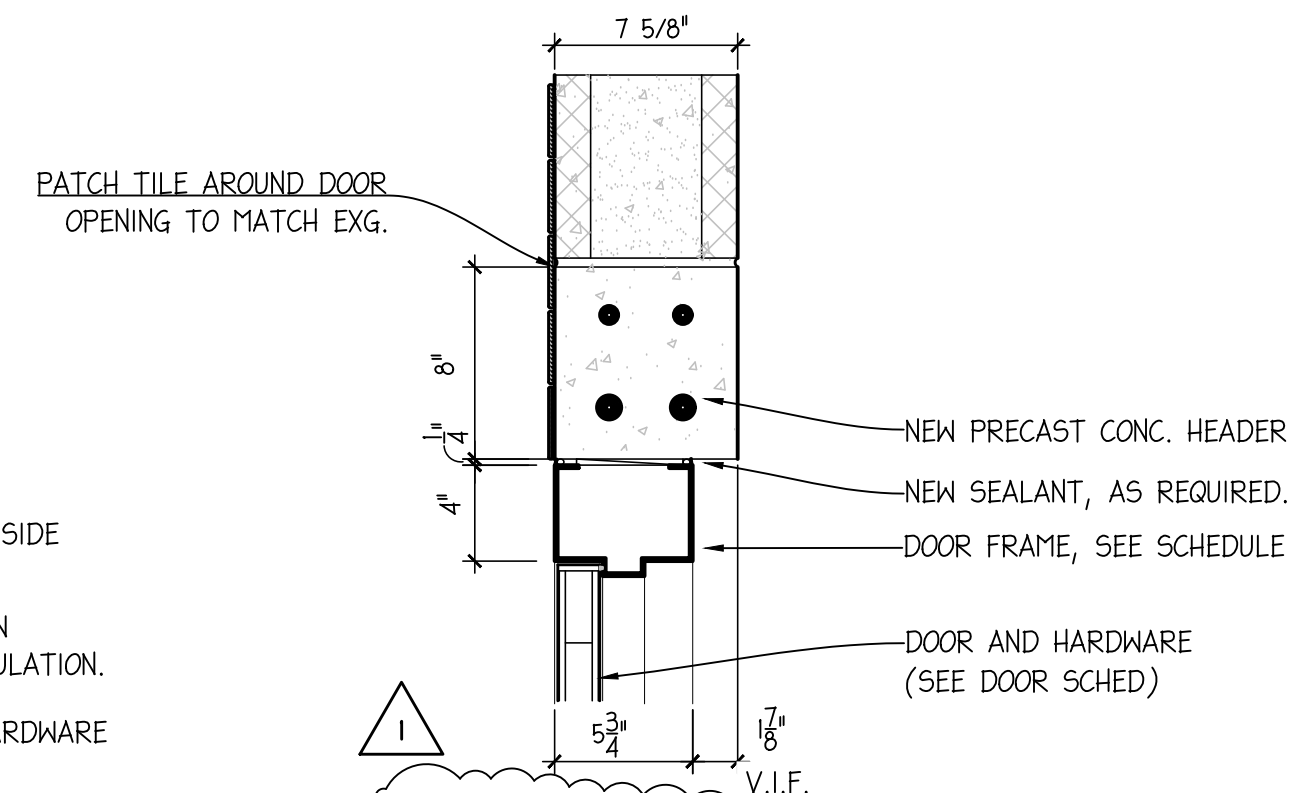
5 JAMB

SCALE: 1-1/2" = 1'-0"



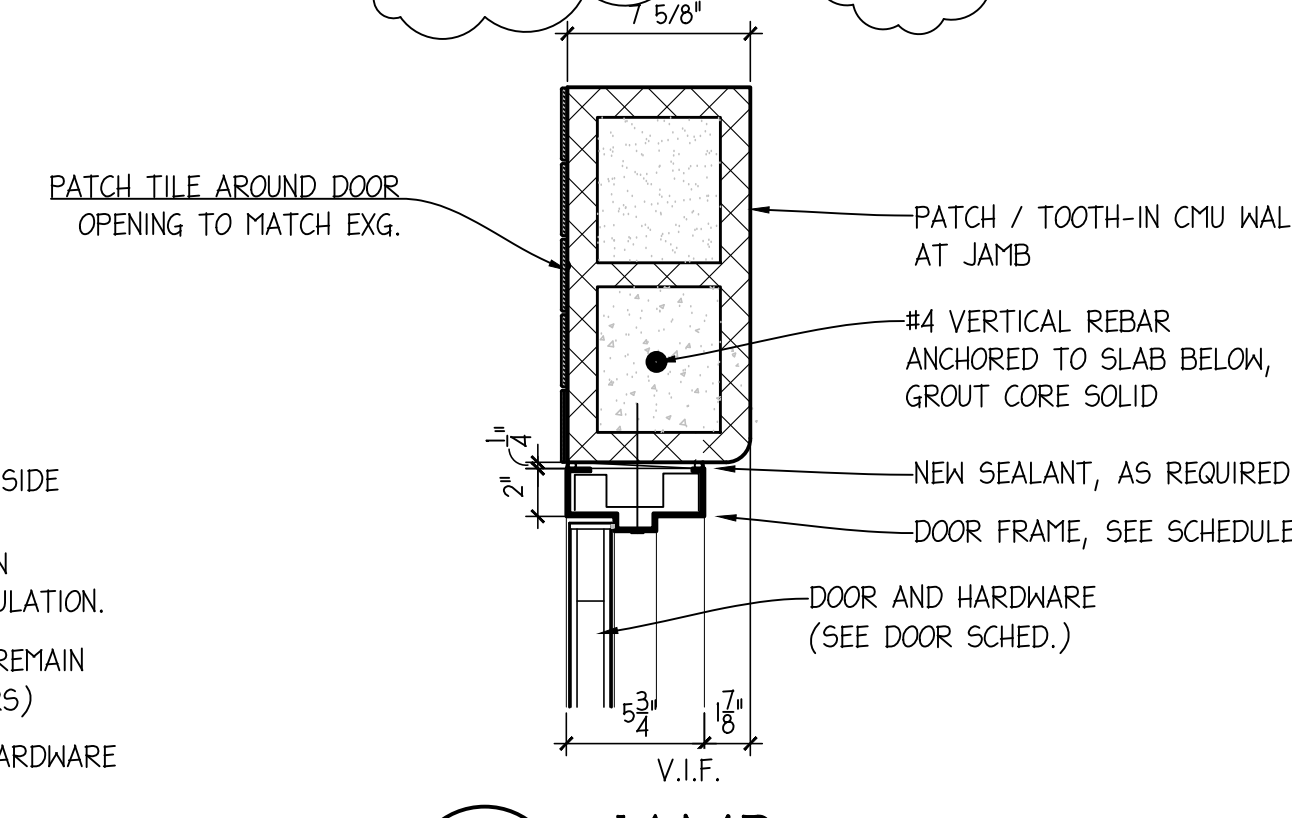
4 DOOR THRESHOLD

SCALE: 3" = 1'-0"



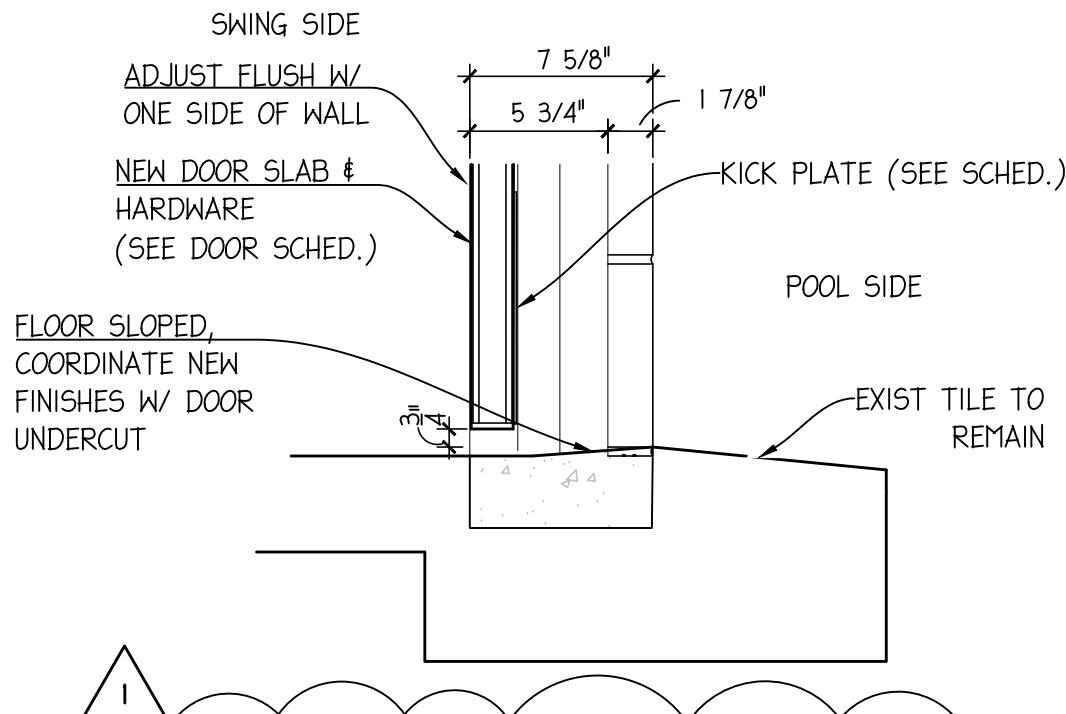
3 HEAD

SCALE: 1-1/2" = 1'-0"



2 JAMB

SCALE: 1-1/2" = 1'-0"



1 THRESHOLD

SCALE: 1-1/2" = 1'-0"

NOTE: CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING DOOR FRAMES WITHIN CONSTRUCTION AREA. PATCH AND REPAIR INCLUDES REMOVAL OF EXISTING ANCHORS, FASTENERS, PLASTIC AND HARDWARE. ALL HOLES AND DAMAGED AREAS ARE TO BE PATCHED WITH MATCHING FRAME COMPONENTS FOR A LIKE NEW APPEARANCE.

NOTE: CONTRACTOR TO SALVAGE ALL EXISTING DOOR HARDWARE NOT BEING REPLACED AND REUSE ON THE SAME DOOR. SEE SPECIFICATION FOR ADDITIONAL INFORMATION.

NOTE: CONTRACTOR TO MATCH EXISTING SCHOOL CORPORATION KEYING SYSTEM.

NOTE: ALL DOOR HARDWARE SHALL BE STAINLESS STEEL AND DESIGNED SUITABLE FOR CORROSIVE POOL ENVIRONMENTS.

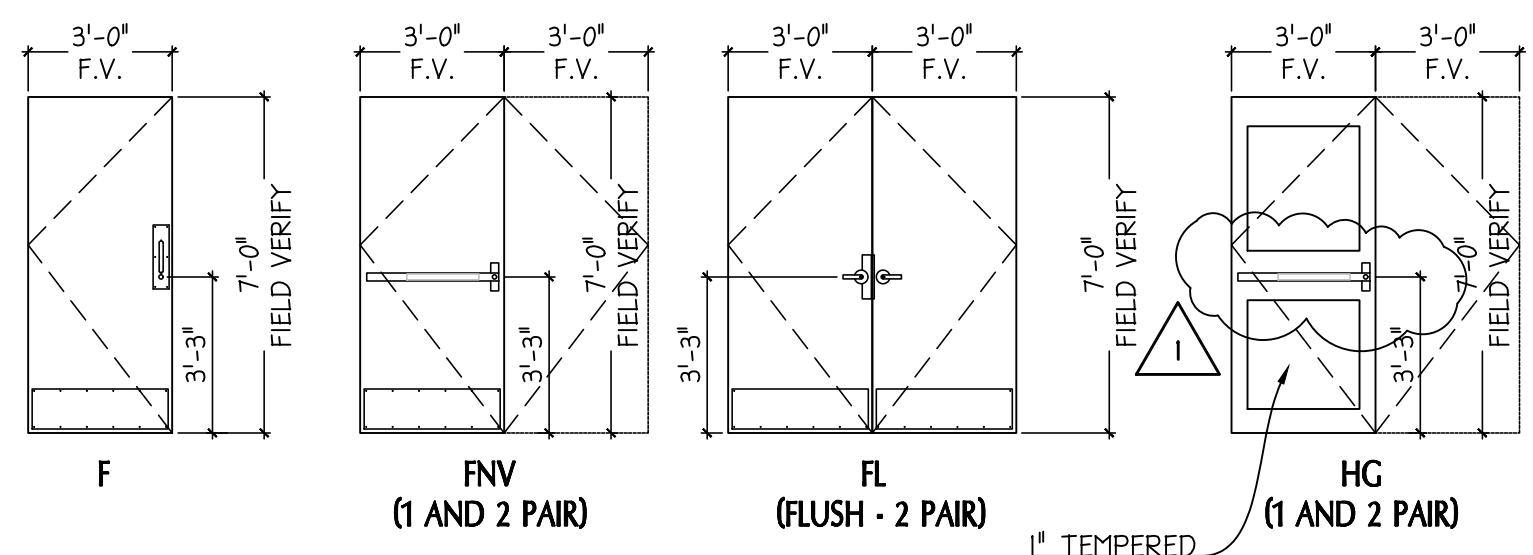
GENERAL CONSTRUCTION NOTES

- DIMENSIONS ARE TO CORNER OF WALL UNLESS NOTED OTHERWISE.
- COORDINATE FINISH WORK WITH DOOR CONTRACTOR.
- ALL CONTRACTORS ARE RESPONSIBLE FOR CLEANING SITE TO THE BEST OF THEIR ABILITIES AT THE END OF EACH WORK DAY.
- ALL CONTRACTORS TO VERIFY STAGING AND STORAGE LOCATIONS OF ALL MATERIALS AND EQUIPMENT WITH OWNER PRIOR TO BEGINNING OF CONSTRUCTION.
- ALL CONTRACTORS RESPONSIBLE FOR ANY DAMAGES CAUSED BY THEM DURING THE CONSTRUCTION PROCESS. IN THE EVENT OF ANY DAMAGES CONTRACTOR IS TO CONTACT THE OWNER IMMEDIATELY PRIOR TO THE END OF THE DAY OF CONSTRUCTION.

DOOR AND FRAME SCHEDULE

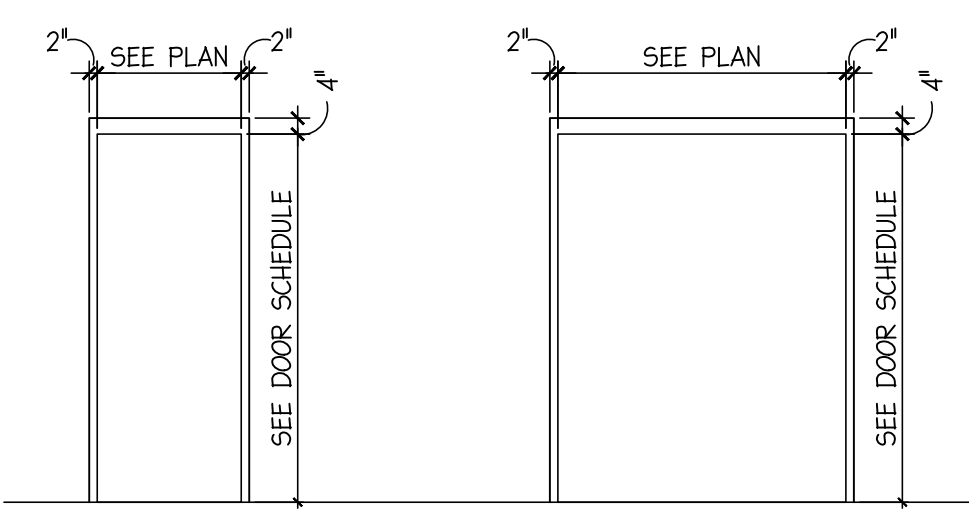
NO.	SIZE	DOOR		FRAME		DETAILS		HDW SET	REMARKS
		MAT.	ELEV.	MAT.	ELEV.	HEAD	JAMB		
C15A	3'-0" x 7'-0" x 1 3/4"	--	--	--	--	--	--	002	1,4,11
C15B	3'-0" x 7'-0" x 1 3/4"	--	--	--	--	--	--	002	1,4,11
C17A	2 @ 3'-0" x 7'-2" x 1 3/4"	SS	HG	SS	2	06	05	003	2,3,4,8,11,14
C17B	3'-0" x 7'-0" x 1 3/4"	--	--	--	--	--	--	004	1,2,3,4,11,14
C17C	3'-0" x 7'-0" x 1 3/4"	--	--	--	--	--	--	005	1,4,11,14
C18A	3'-0" x 7'-0" x 1 3/4"	--	--	--	--	--	--	001	1,4,14
C19A	3'-0" x 7'-0" x 1 3/4"	HM	F	HM	1	06	05	006	6,9,10
C120A	2 @ 3'-0" x 7'-0" x 1 3/4"	HM	FN	HM	2	06	05	007	6,7,9
C120B	2 @ 3'-0" x 7'-0" x 1 3/4"	--	--	--	--	--	--	008	1,4,5,11
C121B	2 @ 4'-0" x 7'-0" x 1 3/4"	SS	FL	SS	2	3	2	009	4,12,15

- REMARKS:
- EXISTING STAINLESS STEEL FRAME AND DOOR SLAB TO REMAIN. PROTECT FROM DAMAGE.
 - PROVIDE RELATED LOW VOLTAGE CABLING, ROUTED FROM ABOVE CEILING TO FRAME AT HEAD OF DOOR ON POOL SIDE. SEE ELECTRICAL.
 - PROVIDE CARD READER. SEE HARDWARE SPECIFICATIONS AND ELECTRICAL DRAWINGS.
 - CUT BOTTOM OF DOOR SLAB FOR A 3/4 INCH UNDERCUT. PROVIDE NEW STAINLESS STEEL CHANNEL COVER AT BOTTOM OF DOOR.
 - DOOR SILL PER DETAIL 1 / A7.1. SEE INTERIORS.
 - DOOR SILL PER DETAIL 4 / A7.1. SEE SPECIFICATION.
 - PROVIDE SIGN INSTALLED ON FULL SIDE OF DOOR LEAF SAYING "EMERGENCY EXIT ONLY - NO ENTRANCE."
 - EXISTING STAINLESS STEEL DOOR FRAME TO REMAIN. REPLACE STAINLESS STEEL DOOR SLABS WITH LITE TO MATCH ELEVATION, PREP FOR NEW ELECTRIFIED HARDWARE AND LOCKING DEVICE. SEE HARDWARE SPECIFICATION.
 - PROVIDE (2) COATS OF EPOXY PAINT OVER PRIMER ON HOLLOW METAL DOOR SLAB AND FRAME. PREFINISHED IN SHOP PRIOR TO INSTALL. COAT ALL EXPOSED SIDES OF DOOR AND FRAME. SEE INTERIORS SCHEDULE.
 - MATCH EXISTING LETTER SIGNAGE OR PLATE SIGNAGE ON DOOR AND REINSTALL.
 - WHERE DOOR HARDWARE SCHEDULE CALLS FOR NEW HARDWARE TO REPLACE OLD, PROVIDE COVER OR FILLER PLATES OVER OLD HOLES OR REINFORCEMENT TO MATCH FACE OF DOOR AND FRAME, AS REQUIRED. SEE HARDWARE SPECIFICATION.
 - NEW TYPE 316 GRADE STAINLESS STEEL DOOR AND FRAME. SEE HARDWARE SPECIFICATION.
 - DOOR SILL PER DETAIL 7 / A7.1.
 - DOOR SILL PER DETAIL 3 / A1.1.



DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"



DOOR FRAME ELEVATIONS

SCALE: 1/4" = 1'-0"



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RCSC 2023 BOND PROJECTS

Rochester Middle School
650 ZEBRA LN, ROCHESTER, INDIANA 46975

NATATORIUM HVAC & LIGHTING UPGRADE



REVISION	DATE	INITIAL
1 ADDENDUM 01	5-30-2024	NRF

DATE	PROJECT
05/01/2024	2023.0011

Door Schedule and Details

SHEET

A7.1

one and one half inches = one foot

one inch = one foot

three quarters inch = one foot

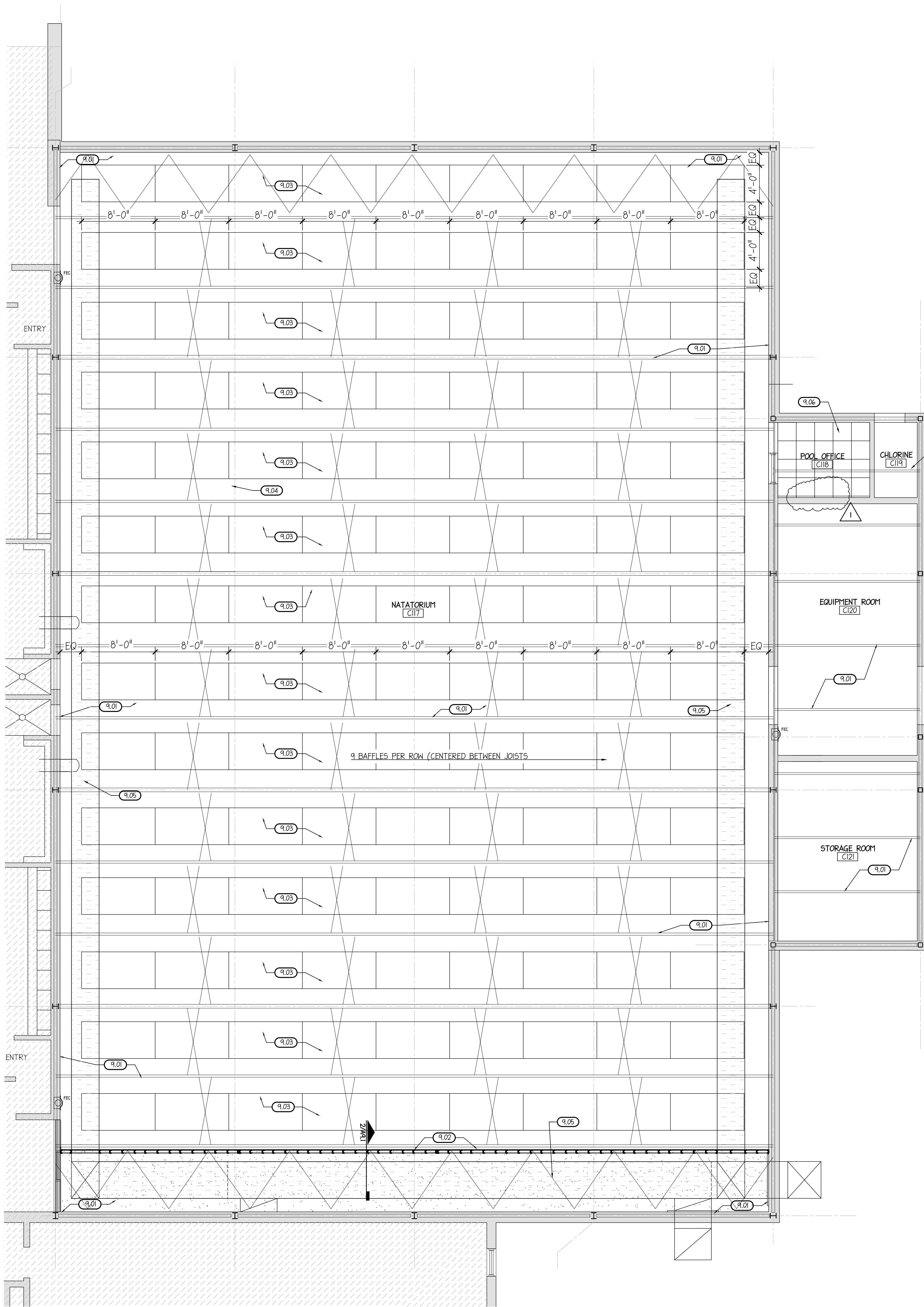
one half inch = one foot

three eighths inch = one foot

one quarter inch = one foot

one eighth inch = one foot

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1

FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 3/16" = 1'-0"

5

BAFFLE FASTENER DETAIL

SCALE: 6" = 1'-0"

4

WAVE BAFFLE DETAIL

SCALE: 1" = 1'-0"

3

HANGER DETAIL

SCALE: 3" = 1'-0"

2

BULKHEAD SECTION

SCALE: 3/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

- DIMENSIONS ARE TO CORNER OF WALL UNLESS NOTED OTHERWISE.
- FRAMING CONTRACTOR TO COORDINATE LIGHT FIXTURE LOCATIONS AND WIRING WITH ELECTRICAL CONTRACTOR.
- CONCRETE CONTRACTOR TO COORDINATE FINISH FLOOR HEIGHT WITH CIVIL / EXCAVATION CONTRACTOR.
- ALL CONTRACTORS ARE RESPONSIBLE FOR CLEANING SITE TO THE BEST OF THEIR ABILITIES AT THE END OF EACH WORK DAY.
- ALL CONTRACTORS TO VERIFY STAGING AND STORAGE LOCATIONS OF ALL MATERIALS AND EQUIPMENT WITH OWNER PRIOR TO BEGINNING OF CONSTRUCTION.
- ALL CONTRACTORS RESPONSIBLE FOR ANY DAMAGES CAUSED BY THEM DURING THE CONSTRUCTION PROCESS. IN THE EVENT OF ANY DAMAGES CONTRACTOR IS TO CONTACT THE OWNER IMMEDIATELY PRIOR TO THE END OF THE DAY OF CONSTRUCTION.

REFLECTED CEILING PLAN NOTES

- 9.01 SEAL ALL GAPS ALONG EDGES BETWEEN STRUCTURAL STEEL ANGLES, DECKING AND RELATED FRAMING TO PREVENT STEEL SURFACES IN CAVITIES FROM EXPOSURE TO THE MOISTURE OF A POOL ENVIRONMENT. CONTRACTOR TO PROVIDE (1) COAT PRIMER AND (2) COATS OF HIGH PERFORMANCE EPOXY PAINT (PT-7) OVER ALL EXPOSED SIDES OF STRUCTURAL STEEL, INCLUDING ALL ANGLE BRACING, X BRACING, BAR JOISTS, BEAMS AND DECKING. SEE FINISH SCHEDULE AND SPECIFICATION.
- 9.02 CONTRACTOR TO PROVIDE 1 LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD OVER METAL STUD FRAMING BULKHEAD. BRACING AND ATTACHMENT BY DELEGATED DESIGN. SEE DETAIL 2 / A9.1. SEE SPECIFICATIONS.
- 9.03 CONTRACTOR TO PROVIDE KINETICS NOISE CONTROL, VINYL WRAPPED INSULATION, ACOUSTIC WAVE BAFFLES, ANCHORED TO DECKING THROUGH WOOD STRIPS. COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD RANGE. SEE FINISH SCHEDULE, SPECIFICATION AND ENLARGED DETAILS 4 & 5 / A9.1.
- 9.04 NEW LIGHTING AND TRACK. SEE ELECTRICAL DRAWINGS & SPECIFICATIONS.
- 9.05 NEW MECHANICAL DUCTWORK. DUCTS/PIPE COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD RANGE. SEE MECHANICAL DRAWINGS AND DETAILS. SEE FINISH SCHEDULE.
- 9.06 CONTRACTOR TO PROVIDE 2' X 2' ACOUSTICAL LAY-IN GRID CEILING. SEE SPECIFICATIONS.

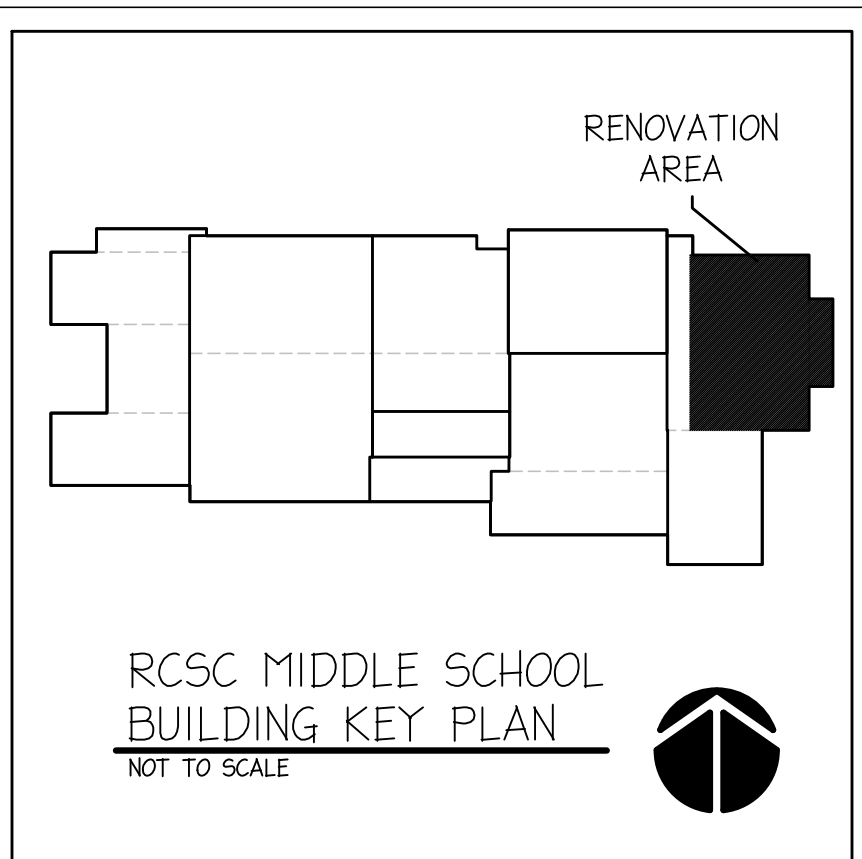
REFLECTED CEILING NOTES AND LEGEND

- GYPSUM BOARD CEILING OR BULKHEAD.
- 4x8' TEXTURE CEILING ACOUSTIC PANEL.
- 4x8' ACOUSTIC WAVE BAFFLE.

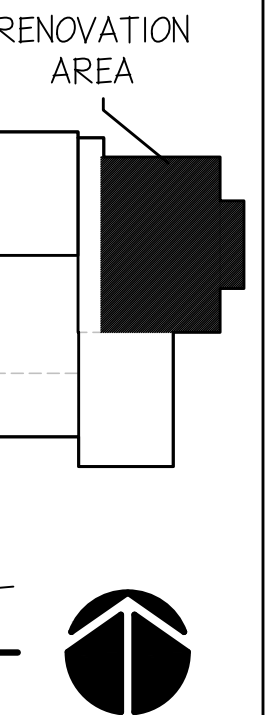
REFLECTED CEILING PLAN SYMBOL LEGEND

SYMBOL	DESCRIPTION
→	SLOPE ARROW - INDICATES SLOPE OF CEILING
□	2'x4' FLUORESCENT LIGHT FIXTURE
■	2'x4' FLUORESCENT LIGHT FIXTURE NIGHT LITE
○	AUDIO SPEAKER
□	1'-4"x4' FLUORESCENT LIGHT FIXTURE
○	CAN LIGHT FIXTURE
⋈	PENDANT LIGHT FIXTURE
◇	PENDANT LIGHT FIXTURE
⌂	EMERGENCY LIGHT FIXTURE
⊗	SUPPLY AIR DIFFUSER
⊠	RETURN AIR DIFFUSER
•	FIRE SPRINKLER

NOTE:
SOME SYMBOLS MAY NOT BE USED. SYMBOLS SHOWN ON PLAN ARE FOR REFERENCE ONLY. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.



RCSC MIDDLE SCHOOL
BUILDING KEY PLAN
NOT TO SCALE



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RCSC 2023 BOND PROJECTS

Rochester Middle School

650 ZEBRA LN, ROCHESTER, INDIANA 46975

NATATORIUM HVAC & LIGHTING UPGRADE



REVISION	DATE	INITIAL
1	ADDENDUM 01	5-20-2024

DATE	PROJECT
05/01/2024	2023.0011

TITLE
Reflected
Ceiling Plan &
Details
SHEET

A9.1

one and one half inches = one foot

one inch = one foot

three quarters inch = one foot

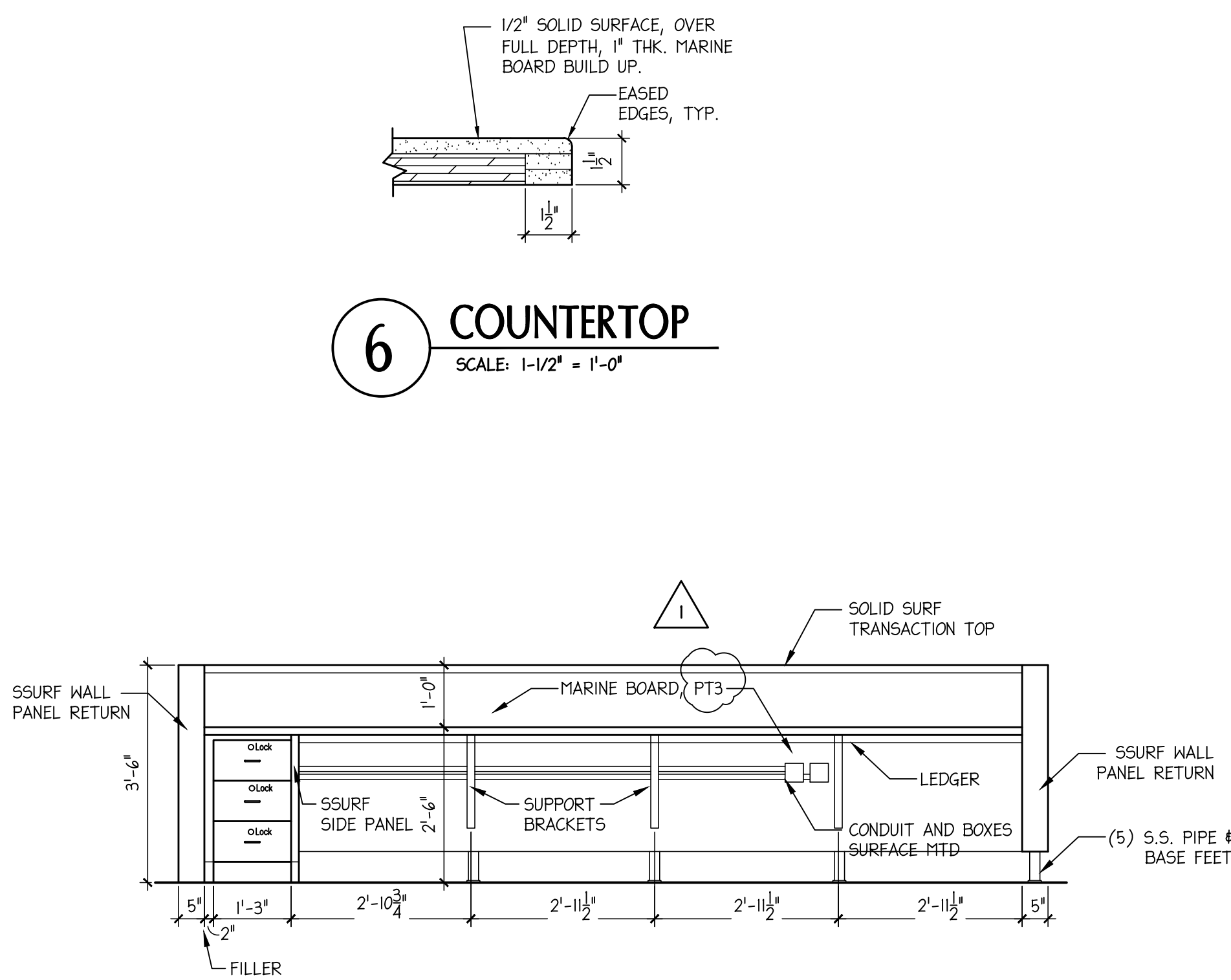
one half inch = one foot

three eighths inch = one foot

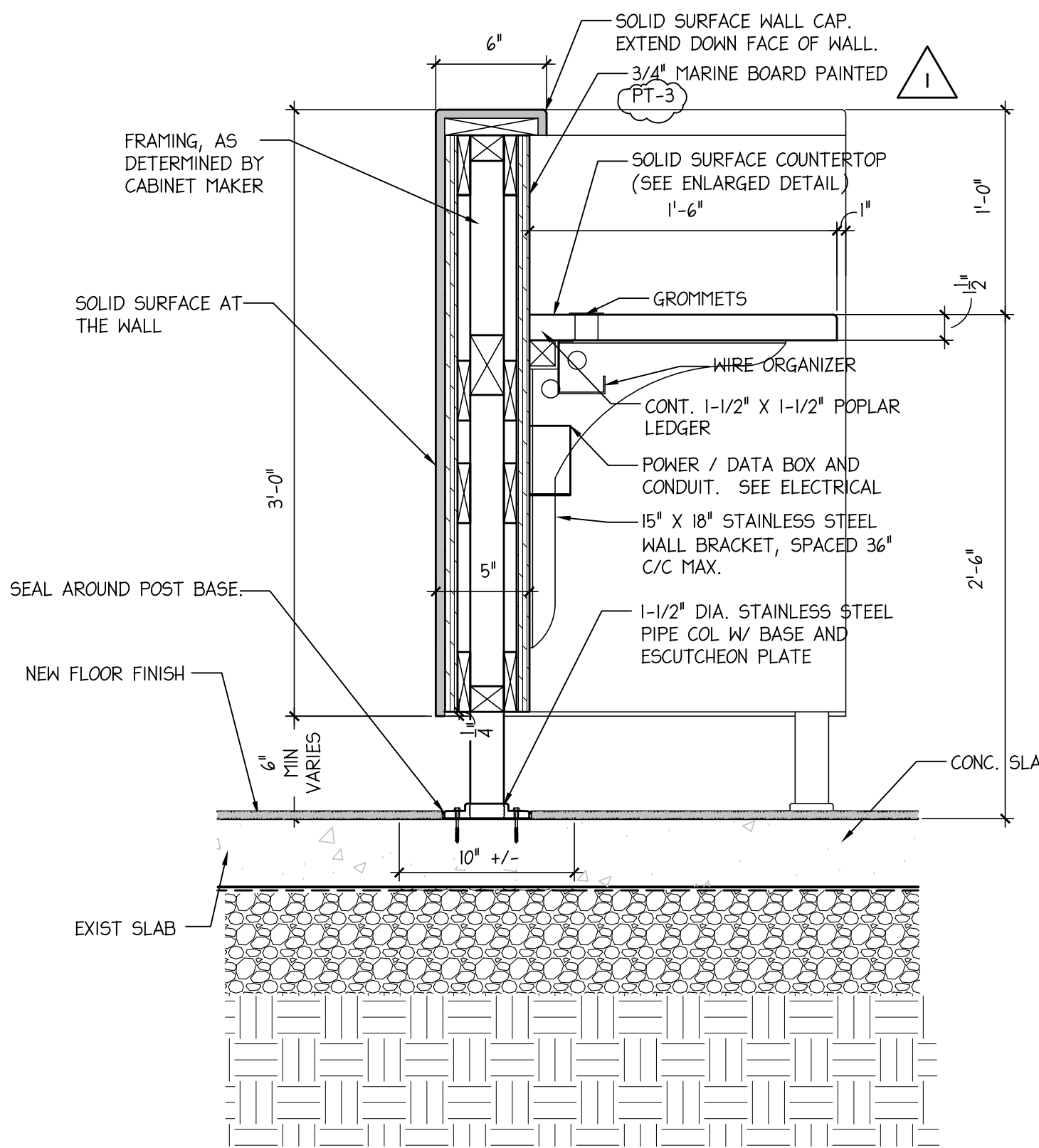
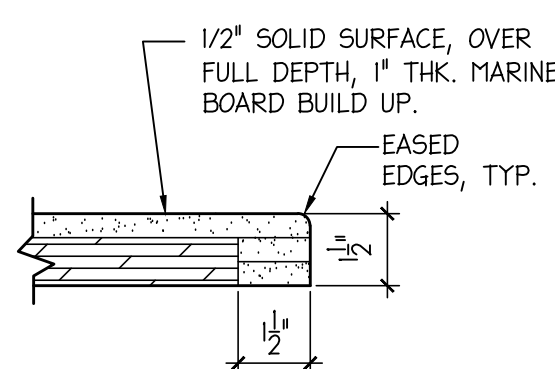
one quarter inch = one foot

one eighth inch = one foot

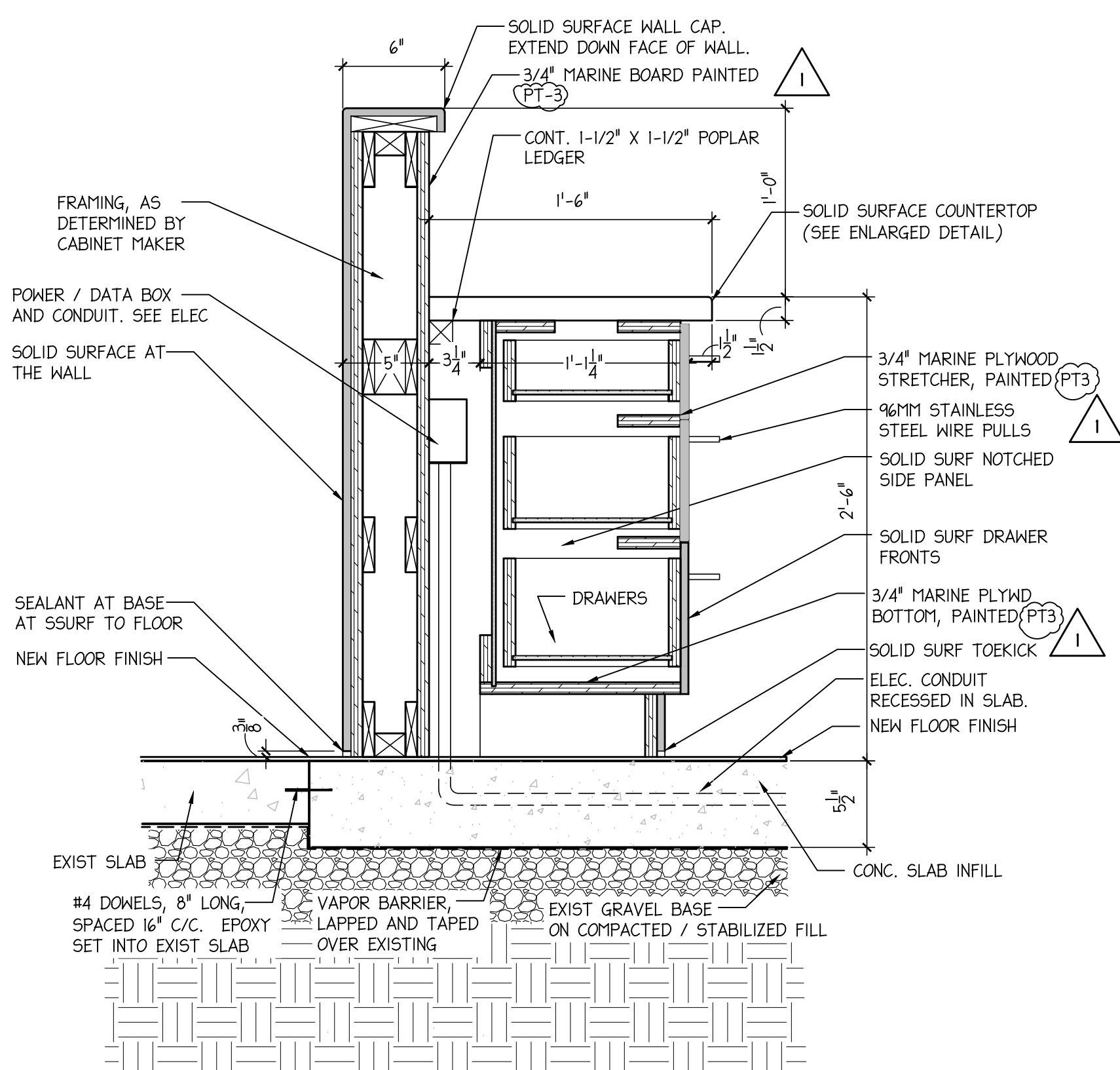
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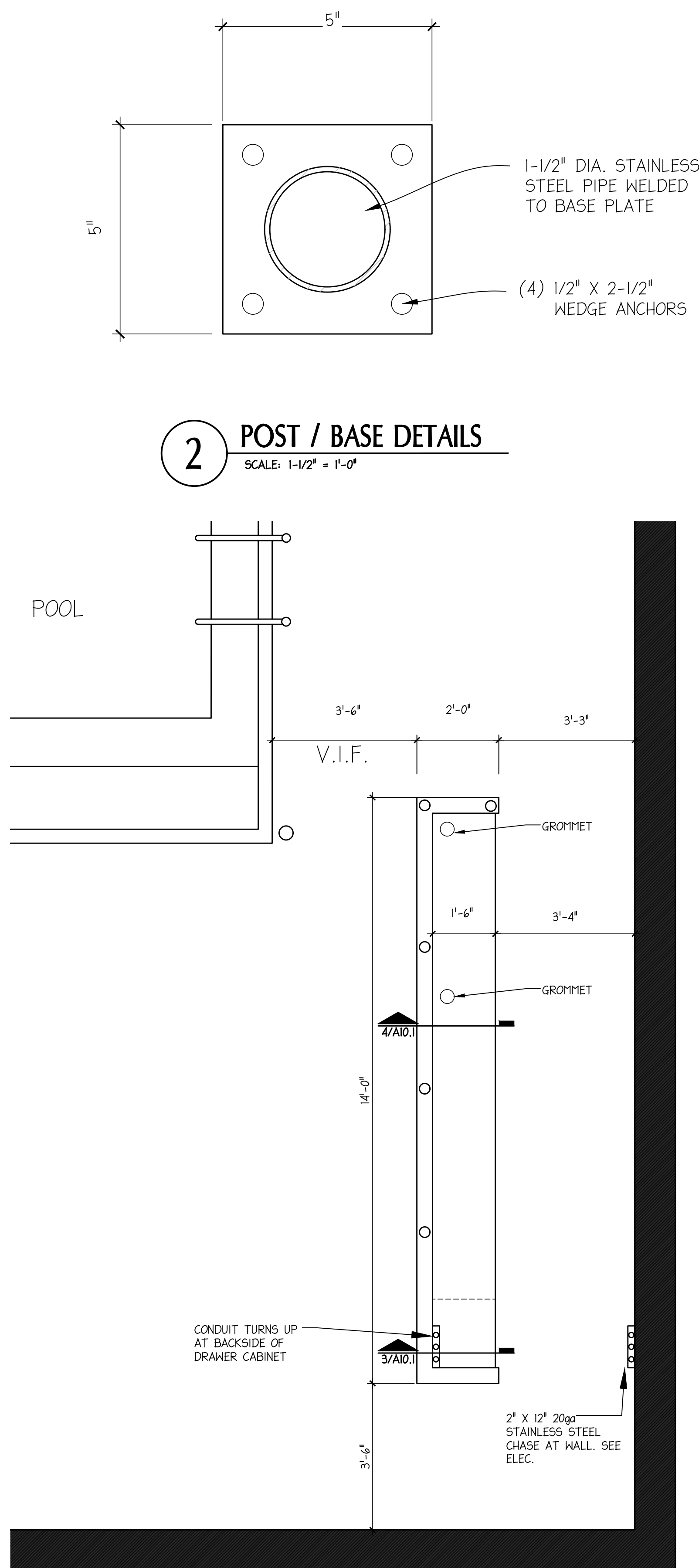
6 COUNTERTOP
SCALE: 1-1/2" = 1'-0"



4 TIMER'S DESK AND HALF WALL
SCALE: 1-1/2" = 1'-0"

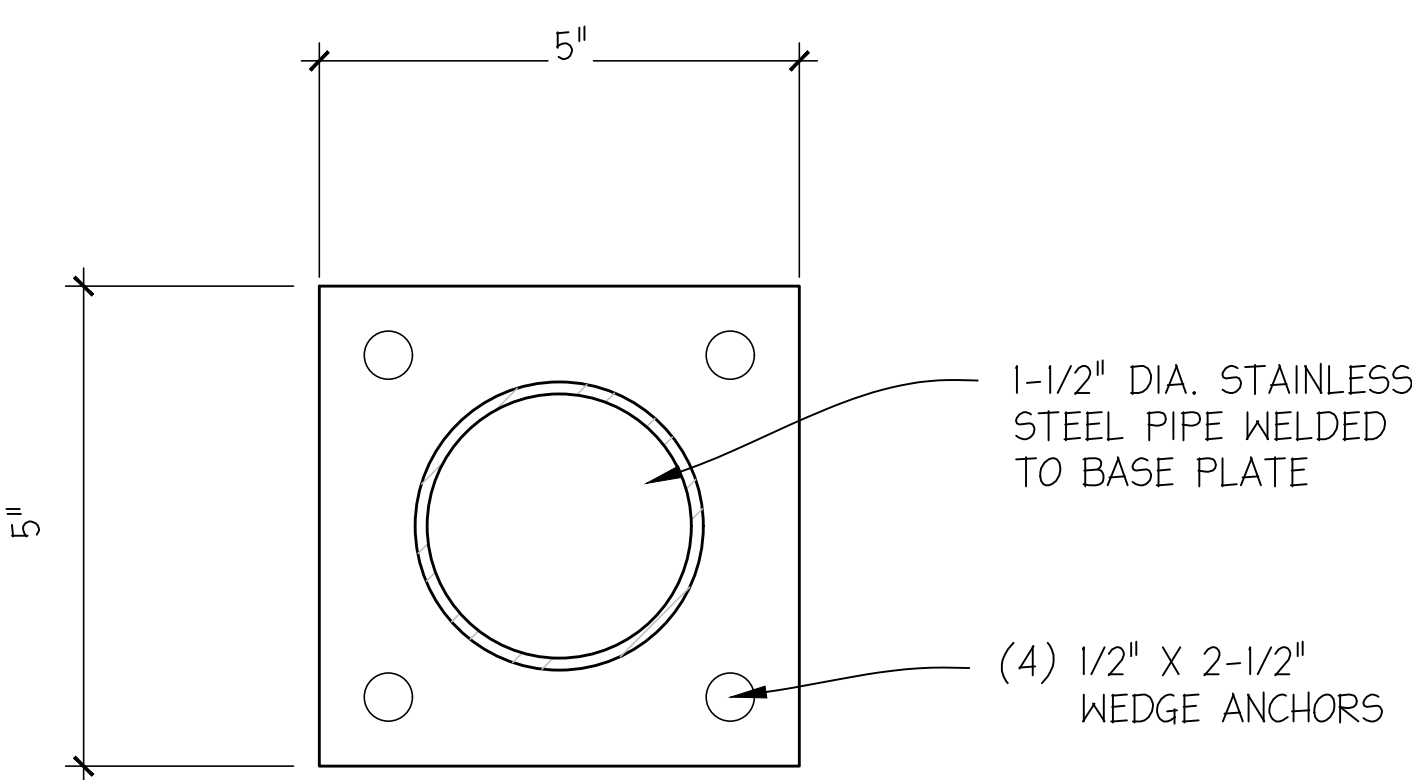


3 TIMER'S DESK AND HALF WALL
SCALE: 1-1/2" = 1'-0"



1 TIME KEEPER'S DESK
SCALE: 1/2" = 1'-0"

2 POST / BASE DETAILS
SCALE: 1-1/2" = 1'-0"



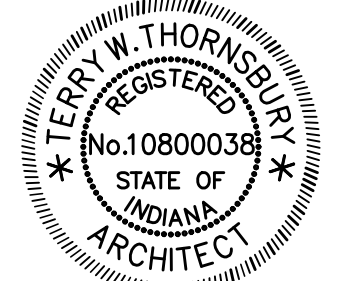
GENERAL CONSTRUCTION NOTES

1. DIMENSIONS ARE TO CORNER OF WALL OR FACE OF WALL UNLESS NOTED OTHERWISE.
2. FRAMING CONTRACTOR TO COORDINATE POWER LOCATIONS AND WIRING WITH ELECTRICAL CONTRACTOR.
3. CASEWORK/MILLWORK CONTRACTOR TO FIELD VERIFY DIMENSIONS OF CONDITIONS PRIOR TO FABRICATION.
4. ALL CONTRACTORS ARE RESPONSIBLE FOR CLEANING SITE TO THE BEST OF THEIR ABILITIES AT THE END OF EACH WORK DAY. CONTRACTOR SHALL NOT STORE TOOLS OR ANY OTHER ITEM ON NEW COUNTERTOPS DURING CONSTRUCTION.
5. ALL CONTRACTORS TO VERIFY STAGING AND STORAGE LOCATIONS OF ALL MATERIALS AND EQUIPMENT WITH OWNER PRIOR TO BEGINNING OF CONSTRUCTION.
6. ALL CONTRACTORS RESPONSIBLE FOR ANY DAMAGES CAUSED BY THEM DURING THE CONSTRUCTION PROCESS. IN THE EVENT OF ANY DAMAGES CONTRACTOR IS TO CONTACT THE OWNER & VIRIDIAN IMMEDIATELY PRIOR TO THE END OF THE DAY OF CONSTRUCTION. CONTRACTOR SHALL PROTECT CABINETS AND COUNTERTOPS FROM DAMAGE.
7. CONTRACTOR TO COORDINATE ALL IN-WALL CONDUIT AND RELATED DEVICES WITH CASEWORK.



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CERTIFICATION



Terry W. Thornsbury

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RCSC 2023 BOND PROJECTS

Rochester Middle School
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NATATORIUM HVAC & LIGHTING UPGRADE



REVISION	DATE	INITIAL
1	ADDENDUM 01	5-30-2024

DATE	PROJECT
05/01/2024	2023.0011

TITLE
Casework Details

SHEET
A10.1

NOTE:
CONTRACTOR TO REFER TO OTHER ARCHITECTURAL PLANS, SECTIONS, ENLARGED DETAILS AND ELEVATIONS TO DETERMINE FULL SCOPE OF FINISHES.

NOTE:
ALL EXISTING WALL SIGNAGE IS TO BE REMOVED, SALVAGED AND REINSTALLED IN SAME LOCATION.

NOTE:
PAINT ARCHITECTURAL, MECHANICAL, AND ELECTRICAL ITEMS IN THE CEILING AND ON WALLS TO MATCH ADJACENT SURFACES.

NOTE:
FLOORING CONTRACTOR TO CAREFULLY REMOVE EXISTING CERAMIC TILE FROM EXISTING SUBSTRATE AND PREVENT DAMAGE TO TILES INDICATED TO REMAIN. CUT CLEAN ALONG GROUT LINES AND PREP FLOOR TO RECEIVE NEW FINISHES.

NOTE:
CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING WALLS WITHIN CONSTRUCTION AREA FOR NEW FINISHES AS SCHEDULED. PATCH AND REPAIR INCLUDES REMOVAL OF EXISTING ANCHORS, FASTENERS, MASTIC, AND HARDWARE. ALL HOLES AND DAMAGED AREA SHALL BE FILLED IN WITH MATERIALS TO MATCH EXISTING ADJACENT SURFACES.

NOTE:
CONTRACTOR SHALL PROVIDE A BID OF UP TO 10 SF OF NEW 12"X12" FLOOR TILE FOR REPAIRING EXISTING TILE AREAS FOR RESTORATION WORK. PROVIDE DALTILE COLOR DESERT GRAY SPECKLE D200 FROM KEYSTONES LINE.

PAINT PRODUCT OR EQUIVALENT RECOMMENDED:

UNIVERSAL PRIMER: SHERWIN WILLIAMS PRO INDUSTRIAL PRO CRYL B46-1300 SERIES - FOR USE WITH MOST WATER BASED TOP COATS.

ACRYLIC LATEX: SHERWIN WILLIAMS PRO INDUSTRIAL ACRYLIC SEMI-GLOSS B46-650 SERIES

BLOCK FILLER: PRO INDUSTRIAL HEAVY DUTY BLOCK FILLER, SHERWIN WILLIAMS B42K00150 "WHITE"

EPOXY PAINT: PRO INDUSTRIAL WATER BASED CATALYZED EPOXY B73-300 SERIES (PART A), B73V00300 (PART B)

NOTE: REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

FINISH PLAN NOTES

- 11.01 CONTRACTOR TO PROVIDE "EPX-1" FLOOR FINISH, W/ UP TO 1/4" DEPTH UNDERLAYMENT TO ALIGN NEW FLOORING W/ EXISTING TILE. NO LESS THAN 1/8" COVER. SEE ENLARGED DETAILS.
- 11.02 PATCHING AREA W/ NEW FINISH, SEE ENLARGED DETAILS ON SHEET A10.1.
- 11.03 CONTRACTOR TO PROVIDE "CT-3" AT RETURN AIR WALL BUMP OUT (3 SIDES) TO HEIGHT AS INDICATED IN ELEVATIONS ON SHEETS A5.1. PROVIDE "CB-1" AT BOTTOM, ALIGNED WITH EXISTING BASE. SEE DETAIL 5 / A11.1
- 11.04 CONTRACTOR TO PROVIDE (1) COAT OF "CONC-1" HIGH GLOSS CONCRETE SEALER OVER EXIST CONC FLOOR.
- 11.05 PROVIDE "EPX-2" AT TREADS AND RISERS OF ELEVATED SEAT. INSTALL PRIOR TO INSTALLATION OF MODULAR SEATING. SEE ENLARGED BENCH DETAILS ON SHEET A5.3 AND A6.1.
- 11.06 PROVIDE "EPX-2" AT LOW WALL AND HIGH WALL, EXTERIOR SIDE. PARGE SURFACE WHERE REMOVED TILE OCCURED AND PREP FOR A SMOOTH SURFACE TO INSTALL NEW EPOXY FINISH. SEE ENLARGED BENCH DETAILS ON SHEET A5.3 AND A6.1.
- 11.07 TURN EPX-1 UP WALL 4 INCHES FOR BASE.
- 11.08 INSTALL VB-1 BASE AT INTERIOR ROOM PERIMETER. COORDINATE WITH PAINTED CHU. SEE DETAIL 4 / A11.1
- 11.09 INSTALL CB-2 PATCH AS REQUIRED WITH EXISTING TILE FOR A LIKE NEW APPEARANCE.
- 11.10 INSTALL CHU BLOCK FILLER PLUS (2) COATS OF PAINT ON ALL WALLS WITHIN ROOM PER FINISH SCHEDULE. FULL HEIGHT OF WALL.

ROOM FINISH SCHEDULE

NUMBER	ROOM	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	EAST	SOUTH	WEST		
C117	NATATORIUM	PT-1, PT-2	CB-2	PT-2	PT-2, PT-3	-	PT-2, PT-3	PT-4	1,2,5,6
C116	SEATING	EPX-1	CB-1	-	-	-	-	-	7
C115	PASSAGE	EPX-1	CB-1	-	-	-	-	-	-
C118	POOL OFFICE	EXIST TILE	CB-1	PT-1	PT-1	PT-1	PT-1	ACT-1	3
C119	CHLORINE	CONC-1	N/A	PT-4	PT-4	PT-4	PT-4	PT-4	2,3,4
C120	EQUIPMENT ROOM	CONC-1	N/A	PT-4	PT-4	PT-4	PT-4	PT-4	2,3,4
C121	STORAGE ROOM	EPX-1	VB-1	PT-1	PT-1	PT-1	PT-1	PT-4	2,3

ROOM FINISH LEGEND AND REMARKS

LEGEND

FLOORS

PORCELAIN TILE
* PT-1 DALTILE, KEYSTONES PORCELAIN MOSAIC, COLOR DESERT GRAY SPECKLE D200, 1" X 1"
* PT-2 DALTILE, KEYSTONES PORCELAIN MOSAIC, COLOR BLACK D311, 1" X 1"

CONCRETE
CONC-1: SIKAGARD HIGH GLOSS SEALER

EPOXY

EPX-1: FLAKE, COLOR TRENDS, COLOR "STINGER," FB-508 - 1/4".

THRESHOLDS

TS-1: SCHLUTER RENO-U RAMP, STAINLESS STEEL 304.

BASE

COVE BASE

CB-1: DALTILE 5-3/4"PT 4" X 6", SCR-3/4"PT COVE BASE RIGHT CORNER; SCL-3/4"PT COVE BASE LEFT CORNER, COLOR CHALKBOARD 0180 (2)
* CB-2: DALTILE 5-3/4"PT 4" X 6", SCR-3/4"PT COVE BASE RIGHT CORNER; SCL-3/4"PT COVE BASE LEFT CORNER, COLOR ALMOND 0135
VB-1: JOHNSONITE, TRADITIONAL, 4" VINYL WALL BASE, COLOR CHARCOAL.

WALLS

PAINT

PT-1: SHERWIN WILLIAMS, SEMI-GLOSS INTERIOR LATEX, SH7551 "GREEK VILLA" (WHITE), MATCHING COLOR TO BENJAMIN MOORE 967 "CLOUD WHITE"
PT-2: SHERWIN WILLIAMS, SEMI-GLOSS INTERIOR LATEX, SH7699 "RUSTIC CITY" MATCHING COLOR TO BENJAMIN MOORE HC-14 "PRINCETON GOLD"
PT-3: SHERWIN WILLIAMS, SEMI-GLOSS INTERIOR LATEX, SH7076 "CYBER SPACE", MATCHING BENJAMIN MOORE COLOR 1617 "CHEATING HEART."
PT-4: SHERWIN WILLIAMS, PRO INDUSTRIAL HIGH PERFORMANCE EPOXY, 7551 "GREEK VILLA" (WHITE)

CERAMIC TILE

* CT-1: DALTILE, CLASSIC, ALMOND 0135, 4" X 4" - ONLY USED IF REQUIRED TO PATCH EXISTING WALL TILE.
CT-2: DALTILE, CLASSIC, CHALKBOARD 0180, 4" X 4"
CT-3: DALTILE, CLASSIC (MOSAIC) PATTERN W/ "CHALKBOARD" 0180, 2" X 2"; "ARCHITECTURAL GRAY" 0109 2" X 2"; "ALMOND" 0135 2" X 2"

TECTUM PANELS

TEC-1: 2" THICK STANDARD 4X8 PANELS, CUT TO SIZES INDICATED, COLOR SH7699 "RUSTIC CITY" (CUSTOM COLOR MATCH). PER ALTERNATE #2: PRICE (4) ADDITIONAL COATS, FIELD PAINTED. SEE INTERIOR ELEVATIONS ON SHEET A5.1 AND A5.2.
TEC-2: 2" THICK STANDARD 4X8 PANELS, CUT TO SIZES INDICATED, COLOR SH7076 "CYBER SPACE" (CUSTOM COLOR MATCH). PER ALTERNATE #2: PRICE (4) ADDITIONAL COATS, FIELD PAINTED. INTERIOR ELEVATIONS ON SHEET A5.1 AND A5.2.

EPOXY

EPX-2: TREADWELL COLOR+ 3 LAYER, COLOR SELECT FROM CUSTOM SKATCH. MATCH PAINT COLOR SH7699 RUSTIC CITY. LOCATED AT CONCRETE STEPS AND RISERS AND EXTERIOR SIDE OF CONCRETE BLEACHER WALL (AFTER EXISTING TILE IS REMOVED). SEE ENLARGED DETAILS.

CEILING

ACOUSTIC BAFFLE

AB-1: KINETICS NOISE CONTROL, HB VINYL WAVE BAFFLE, COLOR "IVORY"
PT-4: SHERWIN WILLIAMS, PRO INDUSTRIAL HIGH PERFORMANCE EPOXY, 7551 "GREEK VILLA" (WHITE). STRUCTURAL FRAMING AND METAL DECK, U.N.O.

ACOUSTIC LAY-IN TILE

ACT-1: OPTIMA, HEALTHZONE, SQUARE LAY-IN, 24" X 24", FIBERGLASS PANEL WITH HUMGUARD, 1-1/2" X 15/16" STAINLESS STEEL TGRID

DOOR FRAMES

PAINT

PT-5: SHERWIN WILLIAMS, PRO INDUSTRIAL HIGH PERFORMANCE EPOXY, SH7076 "CYBER SPACE", BENJAMIN MOORE COLOR 1617 "CHEATING HEART"
NOTE: MOST DOOR FRAMES ARE EXISTING STAINLESS STEEL TO REMAIN AS STAINLESS STEEL FINISH. PROTECT FROM DAMAGE AND NEW WORK.

MISCELLANEOUS

MODULAR SEATING

B-1: BENCH, IRWIN SEATING COMPANY, INFINITY MODEL, COLOR "CHARCOAL GREY" CHL.

SOLID SUBURFACE

SSURF-1: CORIAN COLOR "ASH CONCRETE"

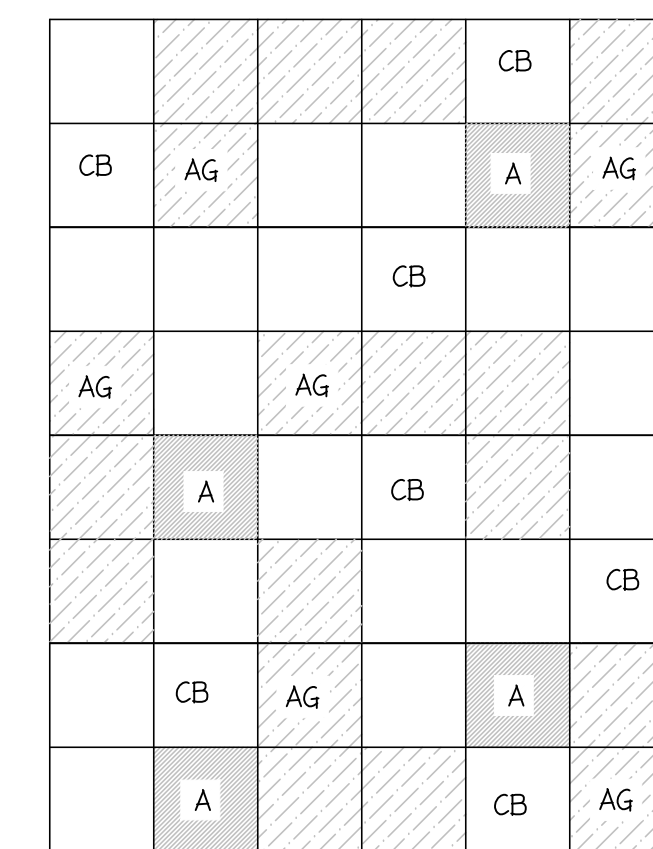
REMARKS

- * - ASTERISK INDICATES PATCHING MATERIAL AS REQUIRED TO MATCH EXISTING. WHERE IT IS NOT REQUIRED, EXISTING FINISHES WILL REMAIN.
- PT-4 TO BE PAINTED (1) COAT PRIMER AND (2) COATS HIGH PERFORMANCE EPOXY PAINT ON ALL EXISTING EXPOSED STEEL STRUCTURE, INCLUDING ALL BAR JOISTS, EXPOSED ROOF DECKING, EXPOSED BEARING PLATES, EXPOSED BEAMS, CROSS BRACING/BRIDGING AND RELATED COMPONENTS.
- PT-1 TO BE PAINTED (1) COAT PRIMER (2) COATS LATEX ON EXISTING CHU BLOCK, FULL HEIGHT, FROM CORNER TO CORNER. ON UNFINISHED CHU CONTRACTOR SHALL USE ONE COAT OF BLOCK FILLER OR SUITABLE PRIMER TYPICAL FOR A FIRST COAT OVER CHU.
- PT-5 TO BE PAINTED (1) COAT PRIMER AND (2) COATS EPOXY PAINT OVER ALL SIDES OF DOOR FRAME AND DOOR. SHOP PAINT PRIOR TO INSTALLING IN-ROUGH OPENING.
- PT-2 AND PT-3 OVER TECTUM PANELS IS ONLY AS REQUIRED FOR CONSISTENCY OF COLOR. WHERE THESE COLORS ARE INDICATED PROVIDE UP TO (4) TOP COATS, AS APPROVED BY ARCHITECT FOR FINAL DESIRED APPEARANCE. ALTERNATE #02
- PREP FOR NEW EPOXY FLOORING INCLUDES A PRIMER PLUS SELF-LEVELING UNDERLAYMENT THAT CAN BE TROWELED AND SLOPED TO ALLOW NEW FLOOR TO MATCH ELEVATIONS OF EXISTING FLOOR TILE TO REMAIN. ARDEX P82 AND ARDEX 15 OR EQUAL. SEE DETAILS 2,3,4 / A11.1
- PREP FOR NEW EPOXY WALL FINISH INCLUDES A PRIMER PLUS A FULL COVERING COAT OF PORTLAND, UP TO 1/8" THICK, TROWELED SMOOTH READY TO ACCEPT EPOXY FINISH. ARDEX CG PRIMER AND ARDEX CD CONCRETE DRESSING OR EQUAL.

5 MOSAIC WALL

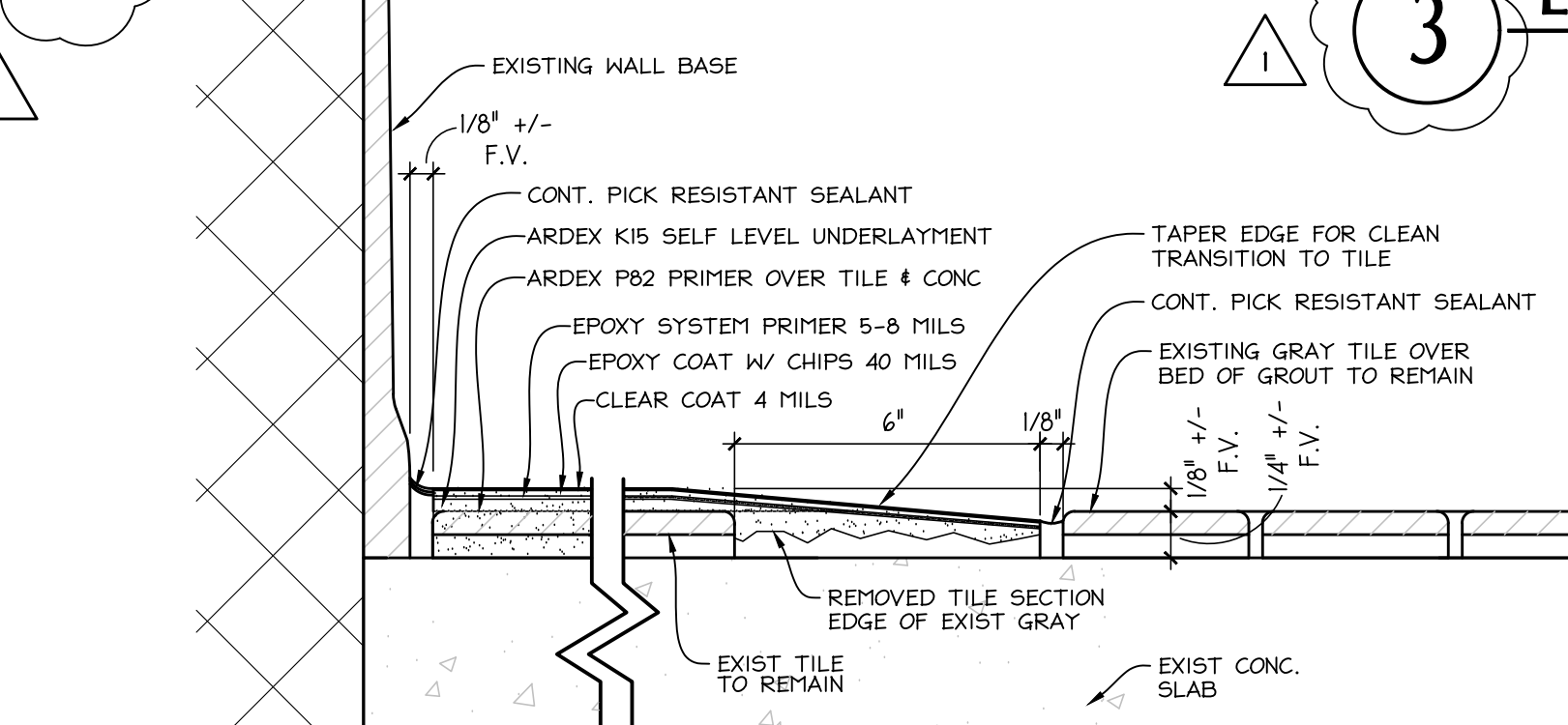
SCALE: NTS

A = ALMOND 0135 8%
AG = ARCHITECTURAL GRAY 0109 42%
CB = CHALKBOARD 0180 50%



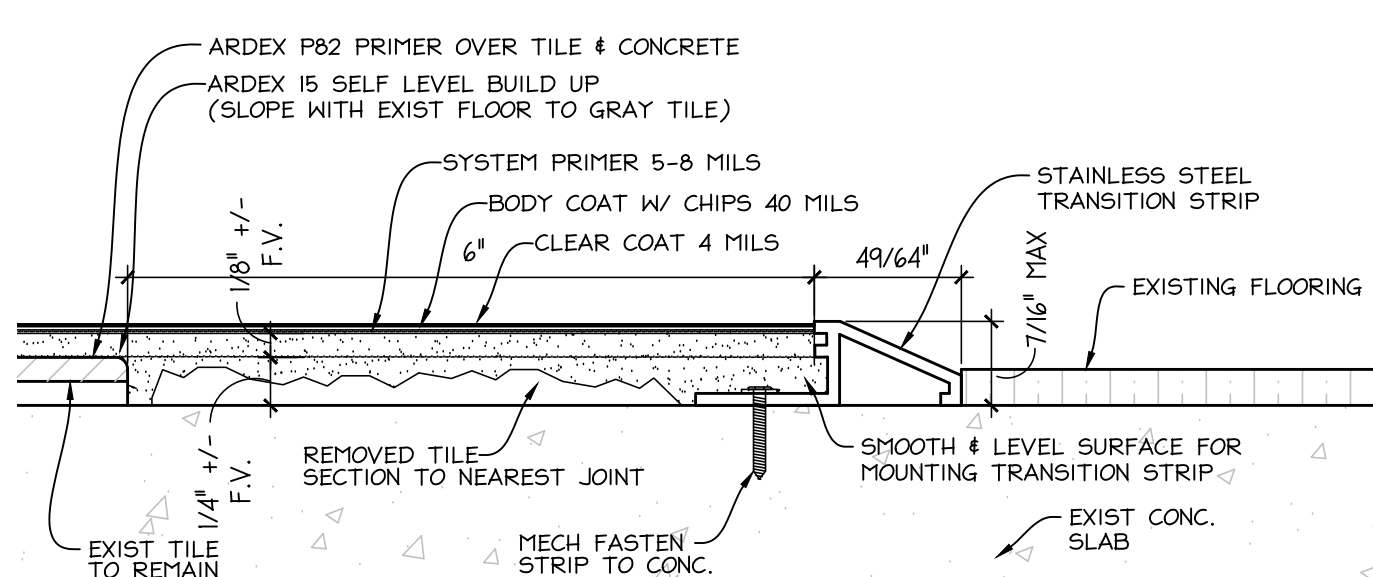
4 EPOXY FLOOR WITH NEW BASE

SCALE: 1'-0" = 1'-0"



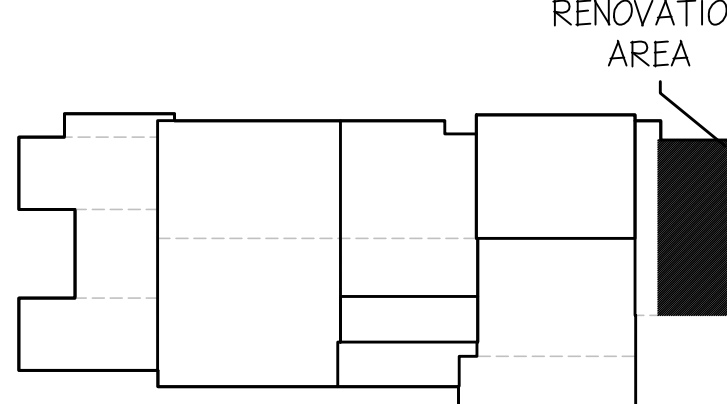
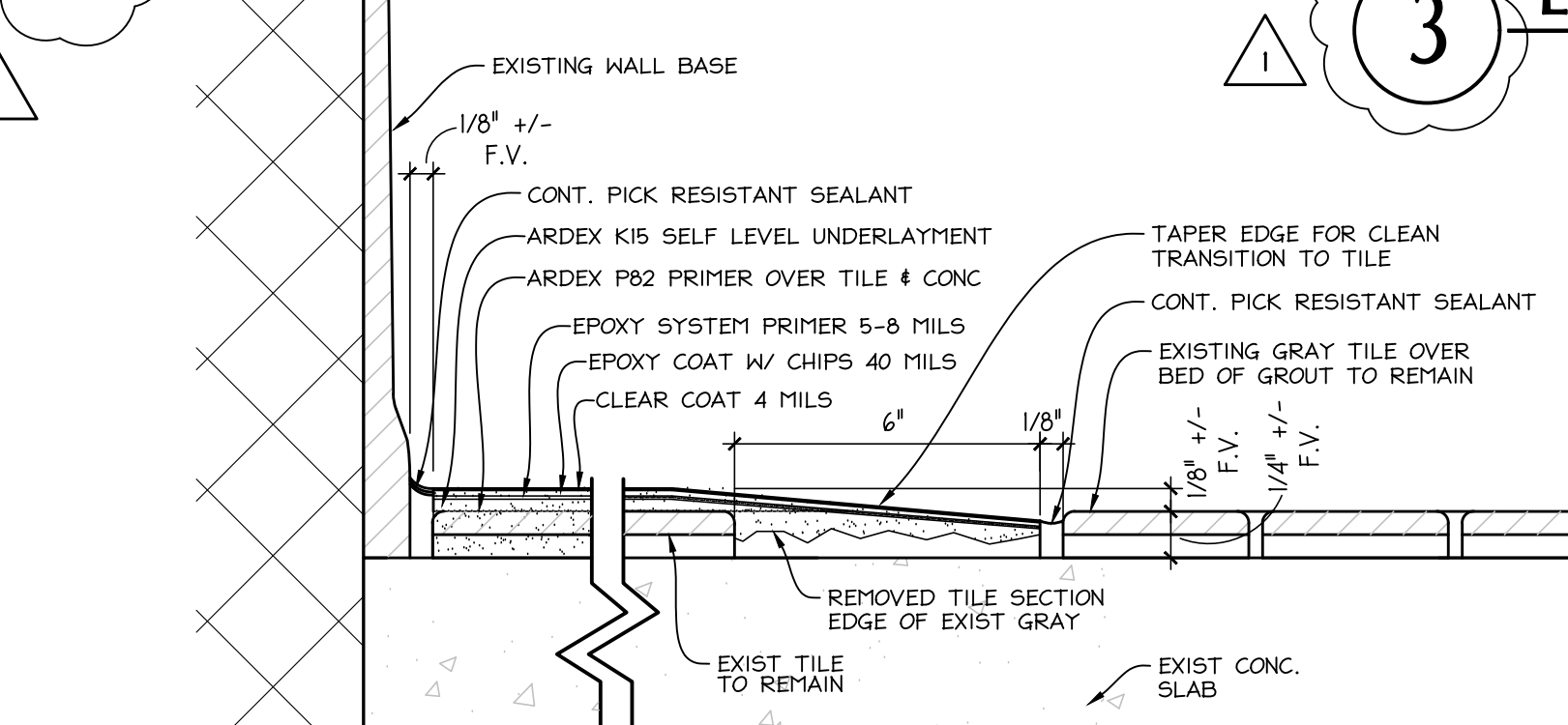
3 EPOXY FLOOR DOOR TRANSITION

SCALE: 1'-0" = 1'-0"



2 EPOXY FLOOR SYSTEM TYPICAL TAPERED

SCALE: 1'-0" = 1'-0"

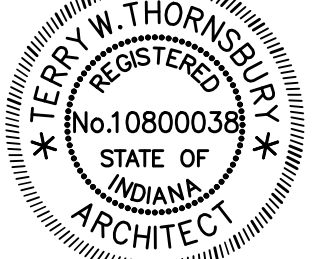


RCSC MIDDLE SCHOOL
BUILDING KEY PLAN
NOT TO SCALE



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RCSC 2023 BOND PROJECTS

Rochester Middle School
650 ZEBRA LN, ROCHESTER, INDIANA 46975

NATATORIUM HVAC & LIGHTING UPGRADE



REVISION	DATE	INITIAL
1 ADDENDUM 01	5-20-2024	NRF

DATE	PROJECT
05/01/2024	2023.0011

TITLE
Interior Finish Plan
&
Details
SHEET

A11.1